

Borski, Jennifer - DNR

From: Kim Jensen <kim.jensen@pre-3.com>
Sent: Tuesday, September 22, 2020 11:06 AM
To: Borski, Jennifer - DNR
Subject: Fw: building layout
Attachments: pre3-multifunction@pre-3.com_20200908_105853.pdf

This is the best we could find for Commercial. I think the 7th page will probably work.

Kimberly Jensen ARM®
Regional Property Manager
Premier Real Estate Mgmt, LLC
1760 Dublin Tr., #72
Neenah, WI 54956
Office: 920-969-9146
Cell: 414-587-7019
Fax: 920-969-9145
Kimj@pre-3.com

From: Jennifer Otte <jennifer@pre-3.com>
Sent: Tuesday, September 8, 2020 10:59 AM
To: Amanda Pronschinske <amanda@pre-3.com>; Kim Jensen <kim.jensen@pre-3.com>
Cc: Commercial Square Apartments <commercialsquare@pre-3.com>
Subject: RE: building layout

Kim, is this what you need? Or do you need the layout, like in a survey?

Jennifer Otte
Executive Assistant



PRE/MIER Real Estate Management, LLC
3120 Gateway Road
Brookfield, WI 53045
Phone: 262-790-4560 ext 8109
Direct Line: 262-879-8109
Cell: 262-709-6040
Jennifer@PRE-3.com

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From: Amanda Pronschinske <amanda@pre-3.com>
Sent: Tuesday, September 8, 2020 10:50 AM
To: Kim Jensen <kim.jensen@pre-3.com>
Cc: Commercial Square Apartments <commercialsquare@pre-3.com>; Jennifer Otte <jennifer@pre-3.com>
Subject: RE: building layout

Hey Kim!

Jenn was able to locate some documents in the basement at the main office, so she will scan over what she has and hopefully they will be what you need 😊

Amanda Pronschinske

PRE / 3™

Marketing Coordinator
3120 Gateway Road
Brookfield, WI 53045
Phone: 262.790.4560
Fax: 262.790.4570
Email: amanda@pre-3.com

From: Kim Jensen <kim.jensen@pre-3.com>
Sent: Tuesday, September 8, 2020 10:12 AM
To: Amanda Pronschinske <amanda@pre-3.com>
Cc: Commercial Square Apartments <commercialsquare@pre-3.com>
Subject: building layout

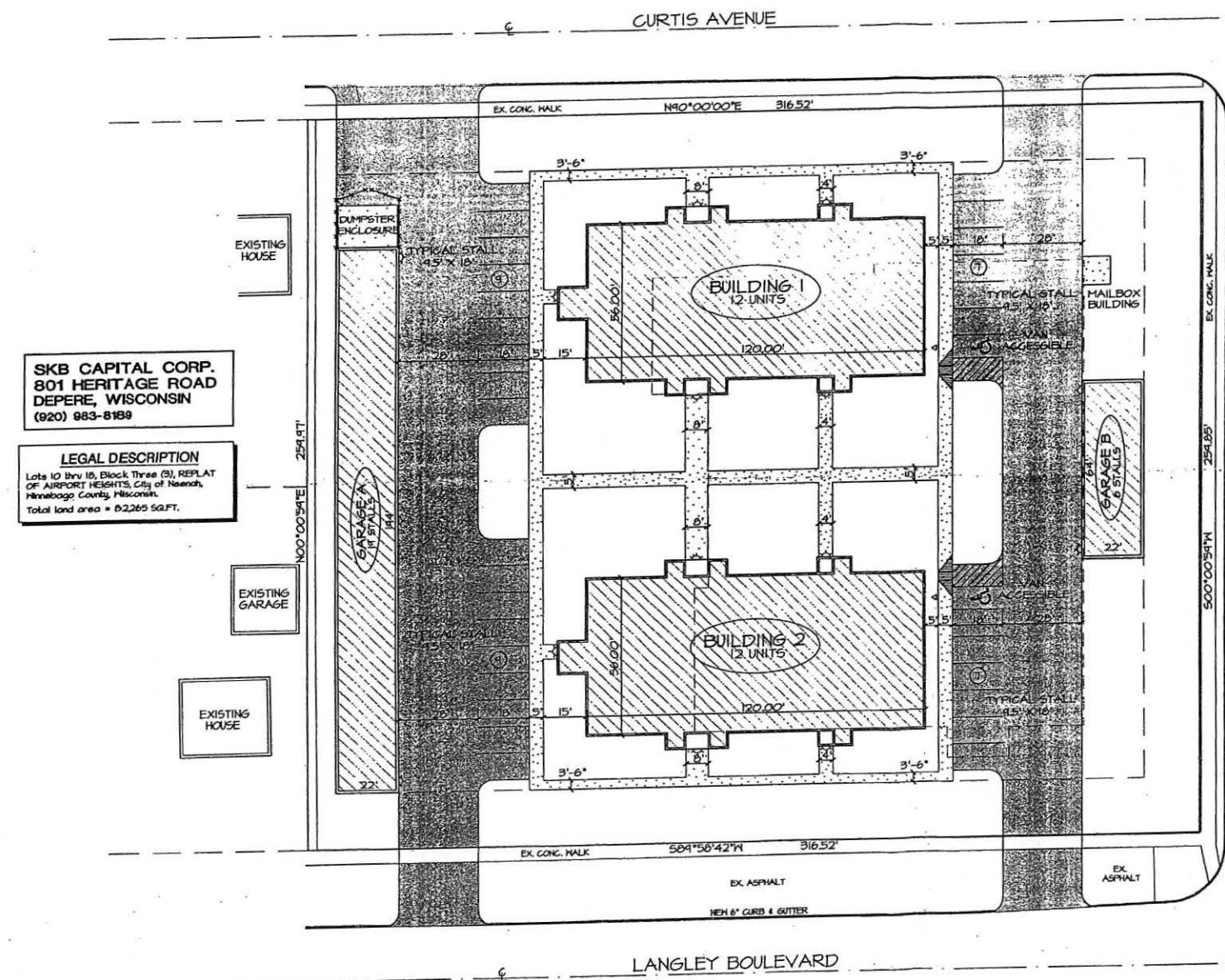
Morning,

Did you have any luck finding a building layout for Commercial Square for the DNR? I'm pretty sure it was through Nicolet.

Kimberly Jensen ARM®
Regional Property Manager
Premier Real Estate Mgmt, LLC
1760 Dublin Tr., #72
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Cell: 414-587-7019
Fax: 920-969-9145
Kimj@pre-3.com

Commercial Street Apartments

City of Neenah, Winnebago County, Wisconsin

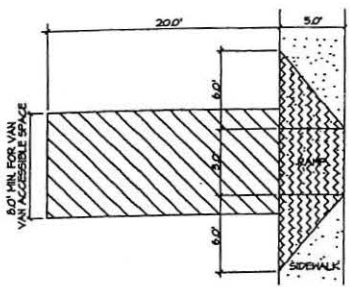
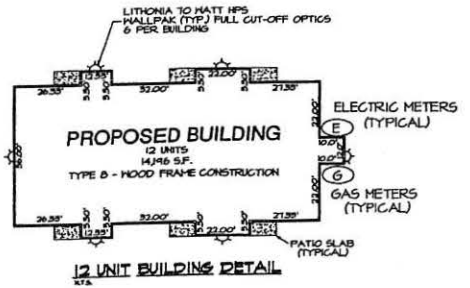


SKB CAPITAL CORP.
801 HERITAGE ROAD
DEPERE, WISCONSIN
(920) 983-8189

LEGAL DESCRIPTION
Lots 10 thru 18, Block Three (3), REPLAT
OF AIRPORT HEIGHTS, City of Neenah,
Winnebago County, Wisconsin.
Total land area = 62,265 SQ.FT.

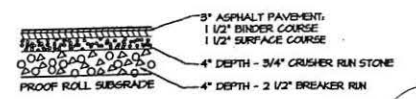
SITE PLAN
SCALE: 1" = 20'

UTILITY STATEMENT
THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE, THEY WERE
LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD LOCATIONS OR MAPPING PROVIDED BY
THE RESPECTIVE UTILITY COMPANIES. UNDERGROUND LOCATIONS CANNOT BE GUARANTEED.
CONTACT DODGERS HOTLINE PRIOR TO ANY EXCAVATION.
1-800-242-891



- NOTES**
1. CENTER CROSSWALK OR CONTROL LINE OF
HANDICAPED PARKING SIGN ON PLANE.
 2. ALL PAINT USED FOR STRIPING SHALL CONFORM TO
STANDARD PLOT REQUIREMENTS FOR STRIPING
PAINTING APPLICATIONS AS OUTLINED IN PLOT
SPECIFICATIONS. COLOR SHALL BE BRIGHT YELLOW.
 3. ALL CROSS AND ACCESSIBLE ROUTE SLOPES SHALL
NOT EXCEED 1:50 (2%).

- TAX PARCEL NUMBER:** 802-0451
- ZONING:** C-1, GENERAL COMMERCIAL
- PARKING REQUIREMENTS**
REQUIRED SPACES (THO SPACES PER UNIT) = 2 X 24' = 48 SPACES
- 2** HANDICAP SPACES
32 OUTDOOR SPACES
24 INDOOR SPACES SHOWN (WITHIN TWO GARAGES)
56 TOTAL SPACES SHOWN
- LOT COVERAGE CALCULATIONS**
TOTAL LOT AREA = 62,265 SQ.FT.
TOTAL BUILDING FOOTPRINT AREA = 30,216 SQ.FT.
TOTAL HARD SURFACE AREA (INCL. SIDEWALKS & ASPHALT) = 26,334 SQ.FT.
TOTAL GREEN SPACE AREA = 35,751/62,265 = 43%



- INDEX OF DRAWINGS**
G1 - OVERALL SITE PLAN
G2 - GRADING & UTILITIES PLAN
G3 - LANDSCAPE PLAN

PRINTED
JUN 19 2002

2718 NORTH MOORE ST.
APPLETON, WI 54911
TEL: (920) 733-4377
FAX: (920) 733-4321

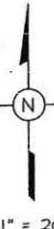
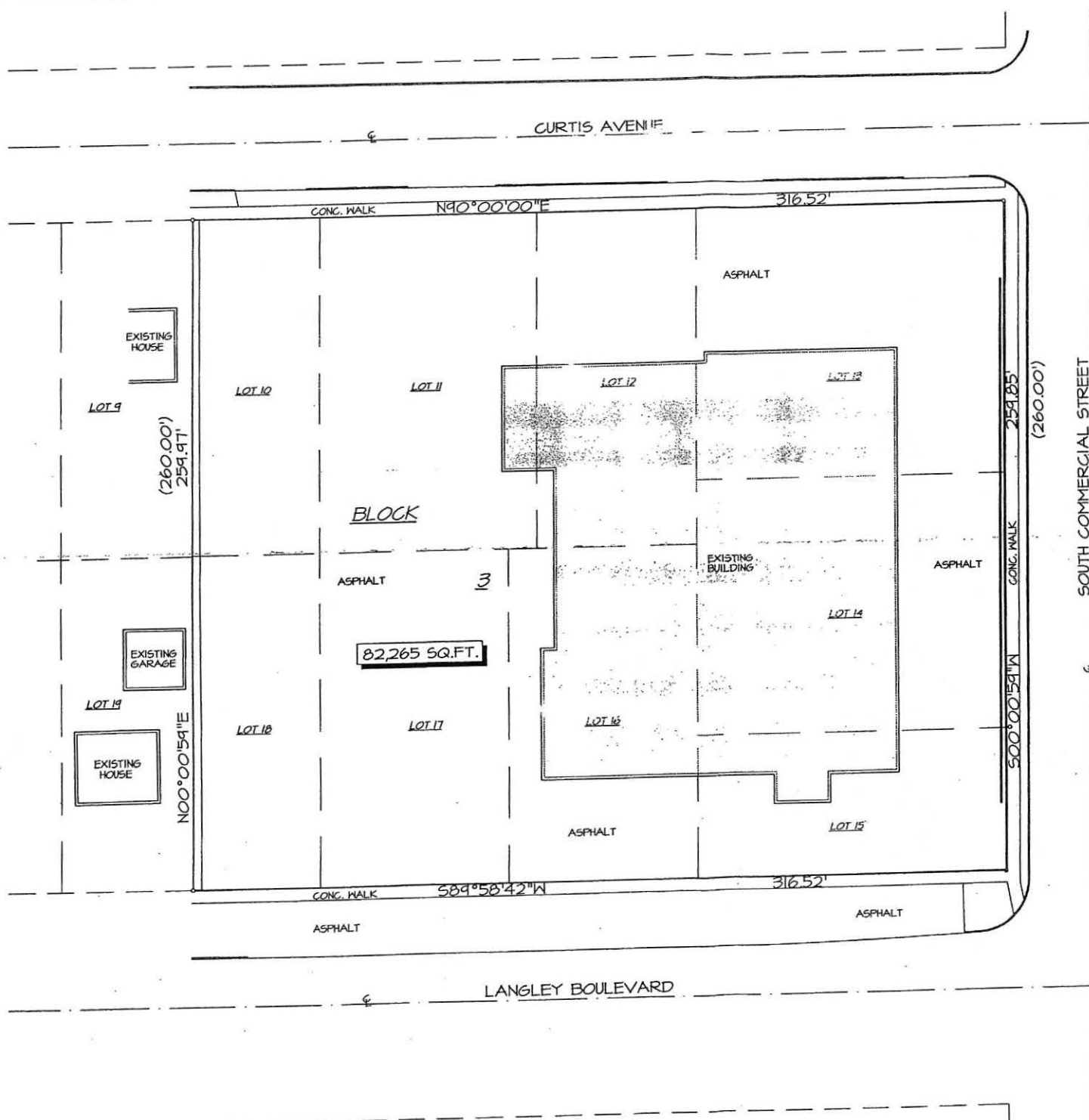
HARRIS & ASSOCIATES, INC.
CONSULTING ENGINEERS
AND LAND SURVEYORS

DATE	BY	REVISION	DESCRIPTION

PROJECT: SKB CAPITAL CORPORATION
COMMERCIAL STREET APARTMENTS
LOCATION: S. COMMERCIAL STREET, CITY OF NEENAH,
WINNEBAGO COUNTY, WISCONSIN

DESCRIPTION: OVERALL SITE PLAN

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 06/05/02
SCALE: [Blank]
PROJECT NUMBER: 6667



1" = 20'

Bearings are referenced to the South line of Curtis Avenue, assumed to bear N90°00'00"E.

LEGEND

- o = 3/4" x 24" IRON ROD, SET WEIGHING 150 LBS./LIN. FT.
- = CHISELED CROSS IN WALK

PROPERTY DESCRIPTION:
Lots 10, 11, 12, 13, 14, 15, 16, Fl. 10, Block Three (B), REPLAT OF AIRPORT HEIGHTS, City of Neenah, Winnebago County, Wisconsin



SURVEYOR'S CERTIFICATE

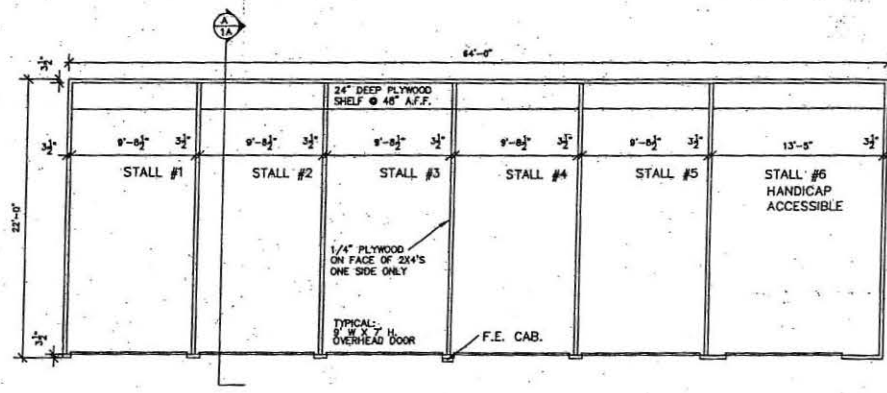
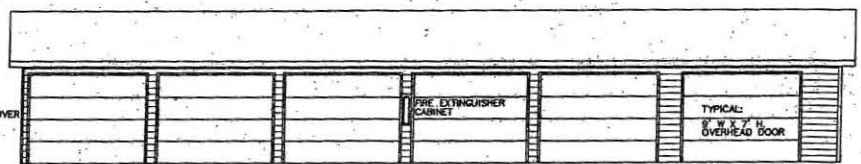
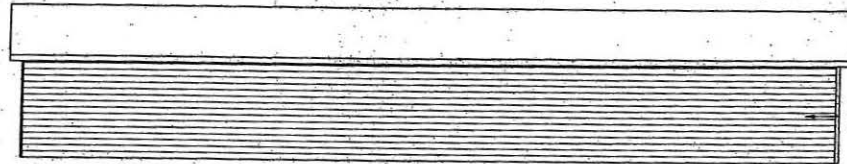
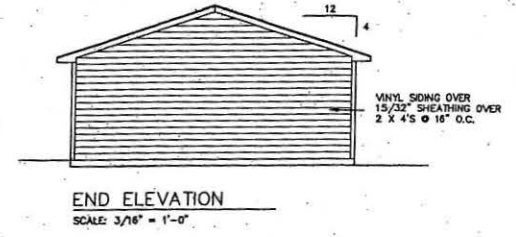
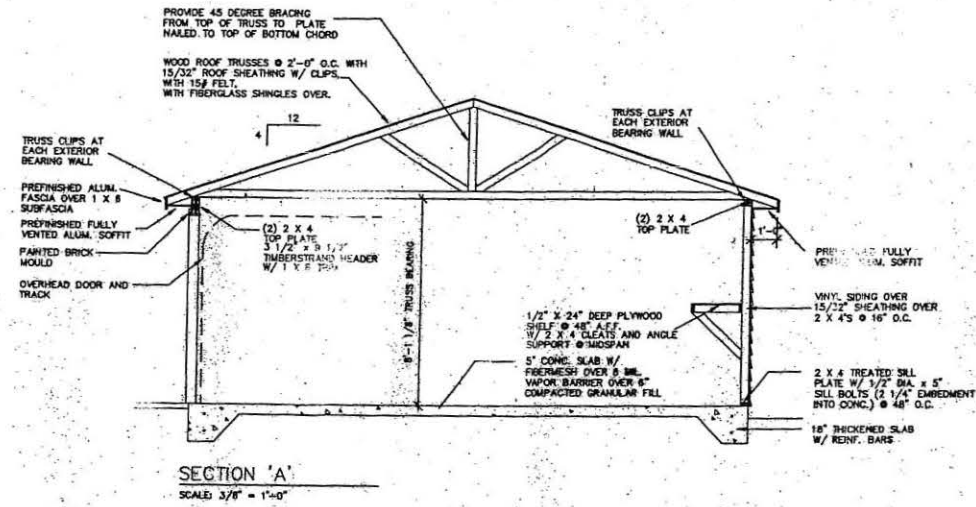
I hereby certify that I have surveyed the property described above according to official records, and that the plat hereon drawn is a correct representation of said survey.

Thomas M. Wood
 Date 5-13-02
 S-1867

REV. NO.	DESCRIPTION	DATE	BY

PROJECT: FOX VALLEY Lanes
 FORMER LAKESHORE BOXING Lanes
LOCATION: FOX VALLEY COMMERCIAL STREET
 NEENAH, WISCONSIN
DESCRIPTION: PLAT OF SURVEY

DATE OF SURVEY: 5-13-02
 DATE OF PRINTING: JUN 21 2002
 PROJECT NUMBER: 6667



PRELIMINARY - NOT FOR CONSTRUCTION

4227 PITCO ROAD
Bryn Mawr, Wisconsin 53113
Phone: 262-865-1118
Fax: 262-865-1120

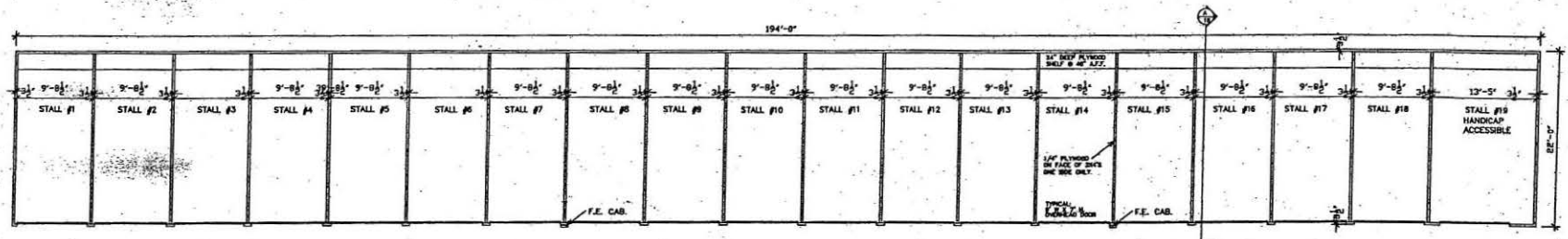
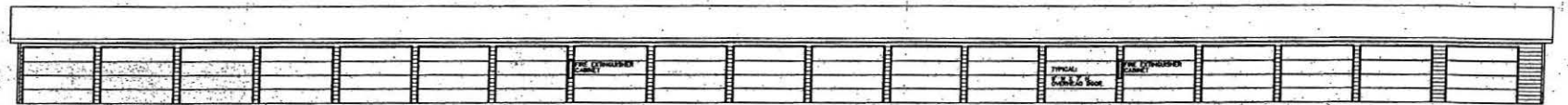
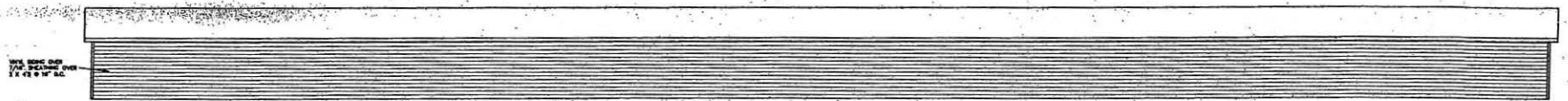
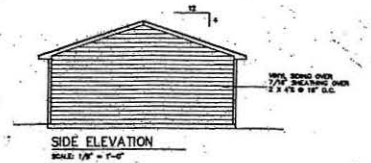
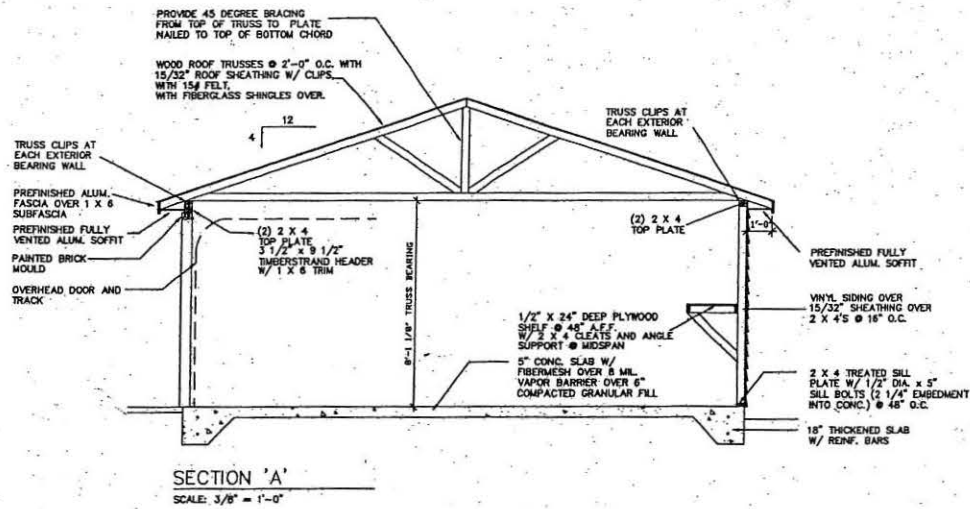
NEW
ARCHITECTURE, INC.

JOB NO.	2002-030
DATE	6/14/02
REVISED	

SOUTH COMMERCIAL STREET APARTMENTS
FOR NICOLET LUMBER COMPANY
CITY OF NEEHAH, WISCONSIN

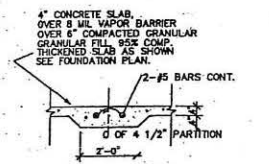
6 STALL GARAGE
FLOOR PLAN SECTION
EXTERIOR ELEVATIONS

1A

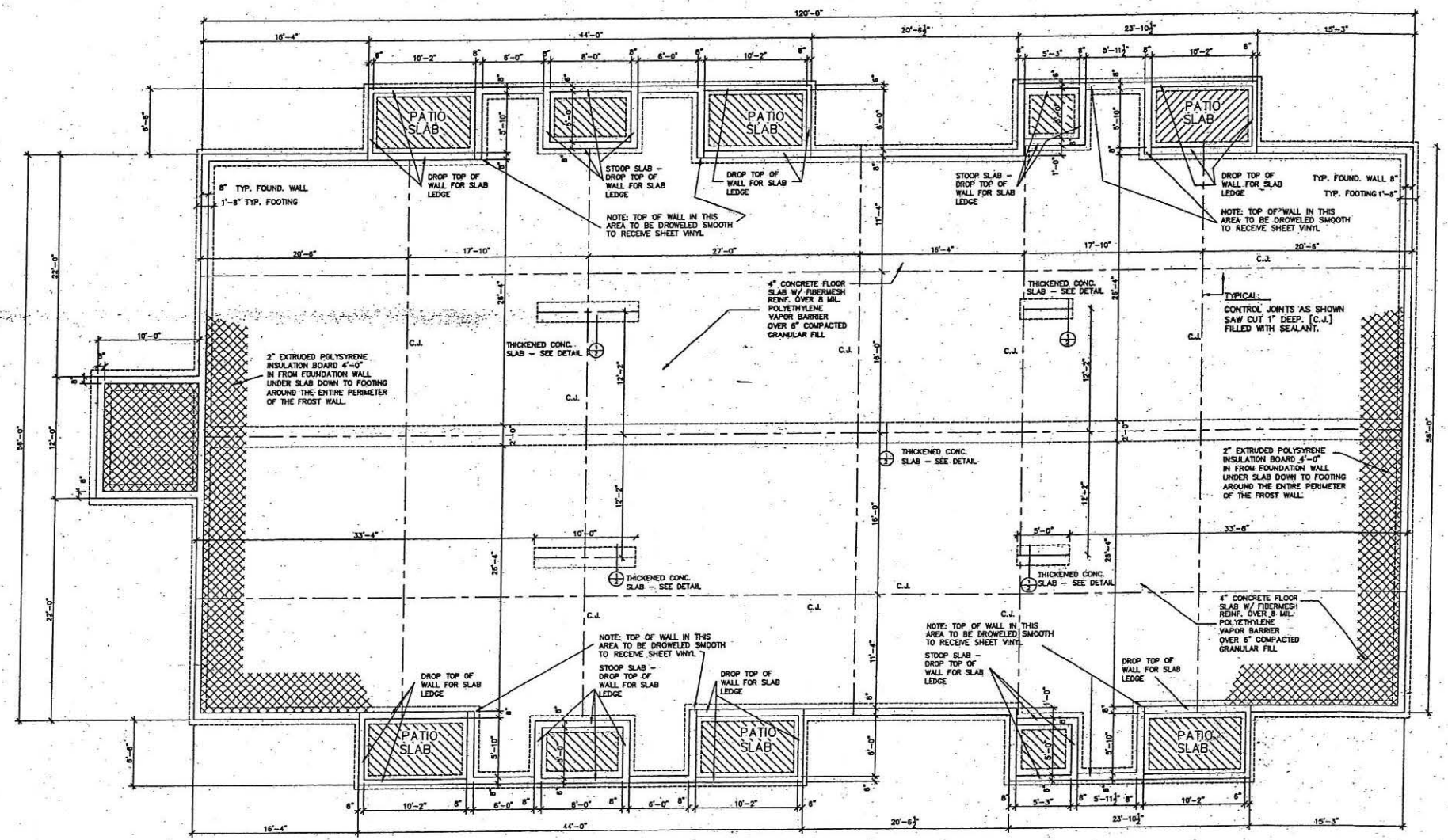


PRELIMINARY - NOT FOR CONSTRUCTION

- ALL EXTERIOR FOUNDATION WALLS FOR MAIN BUILDING ARE 8" THICK, 4'-0" HIGH POURED CONCRETE WITH 2-#5 RE-BARS, TOP & BOTTOM, POURED ON TOP OF 8" x 20" FOOTINGS W/ 2-#5 RE-BARS.
- PATIO FOUNDATION WALLS SHALL BE 6" THICK, 4'-0" HIGH POURED CONCRETE WITH 1-#5 RE-BARS, TOP & BOTTOM, POURED ON TOP OF 8" x 16" FOOTINGS W/ 2-#5 RE-BARS EXPOSED PORTION OF PATIO FOUNDATION WALLS SHALL BE DEPRESSED FOR PATIO SLAB TO COVER OVER.
- ATTACH EXTERIOR TREATED WALL BASE PLATES WITH ANCHOR BOLTS LOCATED 36" O.C. AND 12" FROM EACH END, W/ 1/2" DIA. x 5" SILL BOLTS (2 1/4" MIN. EMBEDMENT INTO CONC.) ATTACH INTERIOR TREATED WALL BASE PLATES AT SHORT PARTY WALLS WITH ANCHOR BOLTS LOCATED 48" O.C. W/ 1/2" DIA. x 5" SILL BOLTS (2 1/4" MIN. EMBEDMENT INTO CONC.)
- PROVIDE 2" x 4'-0" EXTRUDED POLYSTYRENE INSULATION BOARD VERTICALLY ALONG INSIDE OF EXTERIOR FOUNDATION WALLS & HORIZONTALLY UNDER THE ENTIRE FLOOR SLAB
- THE FLOOR SLABS SHALL BE 4" CONCRETE OVER 8 MIL VAPOR BARRIER, OVER 6" COMPACTED GRANULAR FILL. LAP ALL SEAMS OF VAPOR BARRIER 2'-0" AND SEAL WITH PRESSURE TAPE. CONCRETE SHALL HAVE FIBERGLASS REINFORCING ADDITIVE.
- SLAB CONCRETE - 4000 PSI @ 28 DAYS ALL OTHER - 3000 PSI @ 28 DAYS PROVIDE AIR ENTRAINING FOR ALL CONCRETE EXCEPT INTERIOR SLABS
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE= 3000 PSF
- SAWCUT CONTROL JOINTS 4-12 HOURS AFTER CONCRETE IS POURED. JOINT TO BE 1/8" x 1" DEEP.
- SLAB MUST BE LEVEL IN AREA AROUND WATER CLOSET.
- AT ALL FLOOR DRAINS SLOPE SLAB DOWN 1/4" IN 12" RADIUS AROUND IN APARTMENT AND 24" RADIUS IN UTILITY ROOM.
- SEE FLOOR PLANS FOR AREAS TO RECEIVE SHEET VINYL FLOORING. CONCRETE MUST BE TROWELED SMOOTH AT THESE AREAS.
- WHERE ALL SIDEWALKS MEET STOOPS PROVIDE #4 DOWELS x12" LONG @ 12" O.C.



1 THICKENED CONCRETE SLAB AT BR'G WALLS



FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

NOTES:

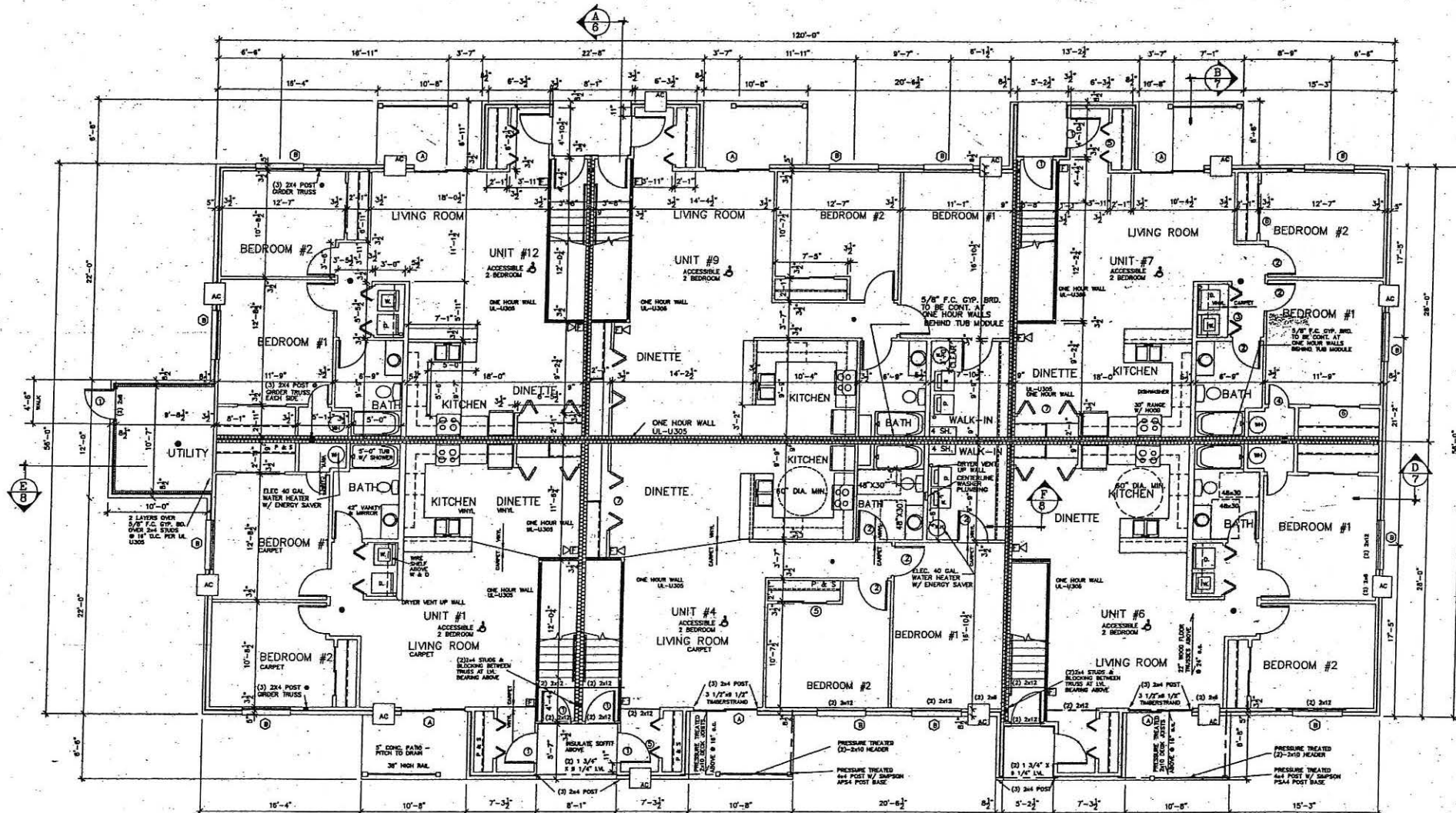
1. STAIR HANDRAILS: ALL HANDRAILS TO WITHSTAND 200# (POUNDS) LOAD APPLIED IN ANY DIRECTION BRACKETS TO BE 32" O.C.
2. BATHROOMS: ALL BATHROOMS ON FIRST FLOOR SHALL BE LAYED OUT AS SHOWN TO PROVIDE FOR HANDICAP ACCESS. PROVIDE A 48" x 30" CLEAR AREA FOR PARALLEL APPROACH TO TUB AND VANITY.
3. PROVIDE BLOCKING IN FIRST FLOOR BATHROOMS FOR FUTURE GRAB BARS. SEE DETAILS.
4. DOORS: ALL FIRST FLOOR DOORS SHALL BE A MIN. OF 2'-10" TO PROVIDE A NOMINAL CLEAR OPENING OF 32".
5. ALL WALLS BETWEEN UNITS SHALL BE 1 HOUR FIRE RATED.
6. LUMBER FOR JOISTS, HEADERS, RAFTERS, AND OTHER STRUCTURAL FRAMING, SPF #1/#2 OR BETTER.

7. ALL OTHER LUMBER - SPF STUD GRADE OR BETTER.
8. LVL - VERSALAM OR MICROLAM.
9. HEADERS MADE UP OF MULTIPLE PLIES OF LUMBER SHALL BE FULL LENGTH CONTINUOUS BETWEEN POSTS. SPICES OF PLYS BETWEEN POSTS ARE NOT PERMITTED.
10. PROVIDE MIN. DOUBLE STUD POST AT EACH END OF ALL HEADERS & GIRDER TRUSSES, UNLESS NOTED OTHERWISE, FOR SECOND FLOOR.
11. PRE-ENGINEERED WOOD ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING CRITERIA:
DEAD LOADS:
TOP CHORD = 7 PSF
BOTTOM CHORD = 10 PSF
LIVE LOADS:
TOP CHORD = 30 PSF (SNOW)
DEFLECTION (LIVE LOAD) = SPAN/240

12. PRE-ENGINEERED WOOD FLOOR TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING CRITERIA:
DEAD LOADS:
TOP CHORD = 25 PSF
BOTTOM CHORD = 5 PSF
LIVE LOADS:
TOP CHORD = 40 PSF STAIRWELLS
TOP CHORD = 10 PSF ALL OTHER AREAS
DEFLECTION (LIVE LOAD) = SPAN/360
13. WOOD TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION. TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED BY THE TRUSS SUPPLIER AND SHALL BE CLEARLY SHOWN ON THE ERECTION PLANS. SHOP DRAWINGS SHALL BEAR THE STAMP OF AN ENGINEER LICENSED IN THE STATE OF WISCONSIN.
14. PROVIDE SOLID BLOCKING IN THE FIRST FLOOR TRUSS SPACE BETWEEN POSTS ON THE SECOND FLOOR AND POSTS ON THE FIRST FLOOR.
15. TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED BY THE TRUSS SUPPLIER & CLEARLY SHOWN ON THE ERECTION PLANS.
16. PROVIDE LET-IN METAL CORNER BRACING AT ALL OUTSIDE CORNERS EQUAL TO SIMPSON T W B

NOTES: FIRE ALARM SYSTEM

1. EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT TOP OF STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN DINING AREAS.
 2. ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED W/ A BACKUP POWER SOURCE
 3. A SMOKE DETECTORS SHALL BE LOCATED IN HALL 6'-0" FROM BEDROOM DOOR.
 4. SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP
- SMOKE ALARM
 - ☐ FIRE ALARM HORN
 - ☑ FIRE ALARM PULL STATION



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

4277 BRICK ROAD
Green Bay, Wisconsin 54313
PHONE 920-865-1719
FAX 920-865-1720

NEW
ARCHITECTURE, INC.

DATE	REVISION
6/14/02	
2002-03D	

SOUTH COMMERCIAL STREET APARTMENTS
FOR NICOLET LUMBER COMPANY
CITY OF NEENAH, WISCONSIN

FIRST FLOOR PLAN
12 UNIT



NOTES:

- STAIR HANDRAILS: TO BE DESIGNED TO WITHSTAND 200# (POUNDS) LOAD APPLIED IN ANY DIRECTION. PROVIDE BRACKETS AT 32" O.C.
- ATTIC ACCESS: EACH ATTIC COMPARTMENT FROM ONE SECOND FLOOR APARTMENT UNIT SHALL HAVE AN ATTIC ACCESS PANEL.
- ALL SECOND FLOOR ELECTRIC WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM FLOWING INTO LIVING UNIT
- PORCHES: ALL LUMBER USED IN THE CONSTRUCTION OF THE SECOND FLOOR DECKS SHALL BE TREATED DECAY RESISTANT LUMBER. DECK CONSTRUCTION SHALL HAVE A MINIMUM LIVE LOAD CAPACITY OF 90# P.S.F. ALL PORCH RAILINGS SHALL HAVE A HEIGHT OF 38" HIGH. RAILINGS SHALL BE CONSTRUCTED SO AN OBJECT OF 4" DIAMETER OR LARGER CANNOT PASS THROUGH THE RAILINGS. HANDRAILS AND GUARDRAILS TO BE DESIGNED TO WITHSTAND 200# (POUND) LOAD APPLIED IN ANY DIRECTION
- ALL WALLS BETWEEN UNITS SHALL BE 1 HOUR FIRE RATED
- FIRE WALL PENETRATIONS: REFER TO STATE BUILDING CODE 51.049, 66.32(5) NO OPENINGS AROUND PIPE, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER PENETRATING ITEMS THROUGH A FIRE-PROTECTIVE MEMBRANE (WHICH IS EITHER GYPSUM BOARD OR FLOOR SHEATHING) SHALL BE MORE THAN 1/8". IF MORE THAN 1/8", ALL OPENINGS MUST BE SEALED WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. IN ALL FIRE WALLS ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESISTANCE OR "METALLIC OUTLET BOXES" THAT ARE LISTED BY AN APPROVED TESTING LABORATORY. BOXES MUST NOT BE MORE THAN 16 SQUARE INCHES. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE BOXES 24" MIN. HORIZONTALLY ON OPPOSITE SIDES OF WALLS. TOTAL AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQUARE INCHES IN 100 SQUARE FEET. DUCT OPENING LARGER THAN 20 SQUARE INCHES SHALL BE PROTECTED WITH EITHER FIRE DAMPER, A LISTED DUCT OUTLET PENETRATION, OR SIX FEET OF CONTINUOUS STEEL DUCTWORK FROM THE MEMBRANE PENETRATION TOWARD THE AIR HANDLING UNIT SOURCES OF PRODUCTS FOR FIREPROOFING ARE:
MORONEY COMPANY TELE.# 414-571-5770
RECTORSEAL CORP. TELE.# 1-800-231-3345
D.S. BARRY COMPANY TELE.# 920-337-4949
JOHNS-MANVILLE TELE.# 888-322-1129

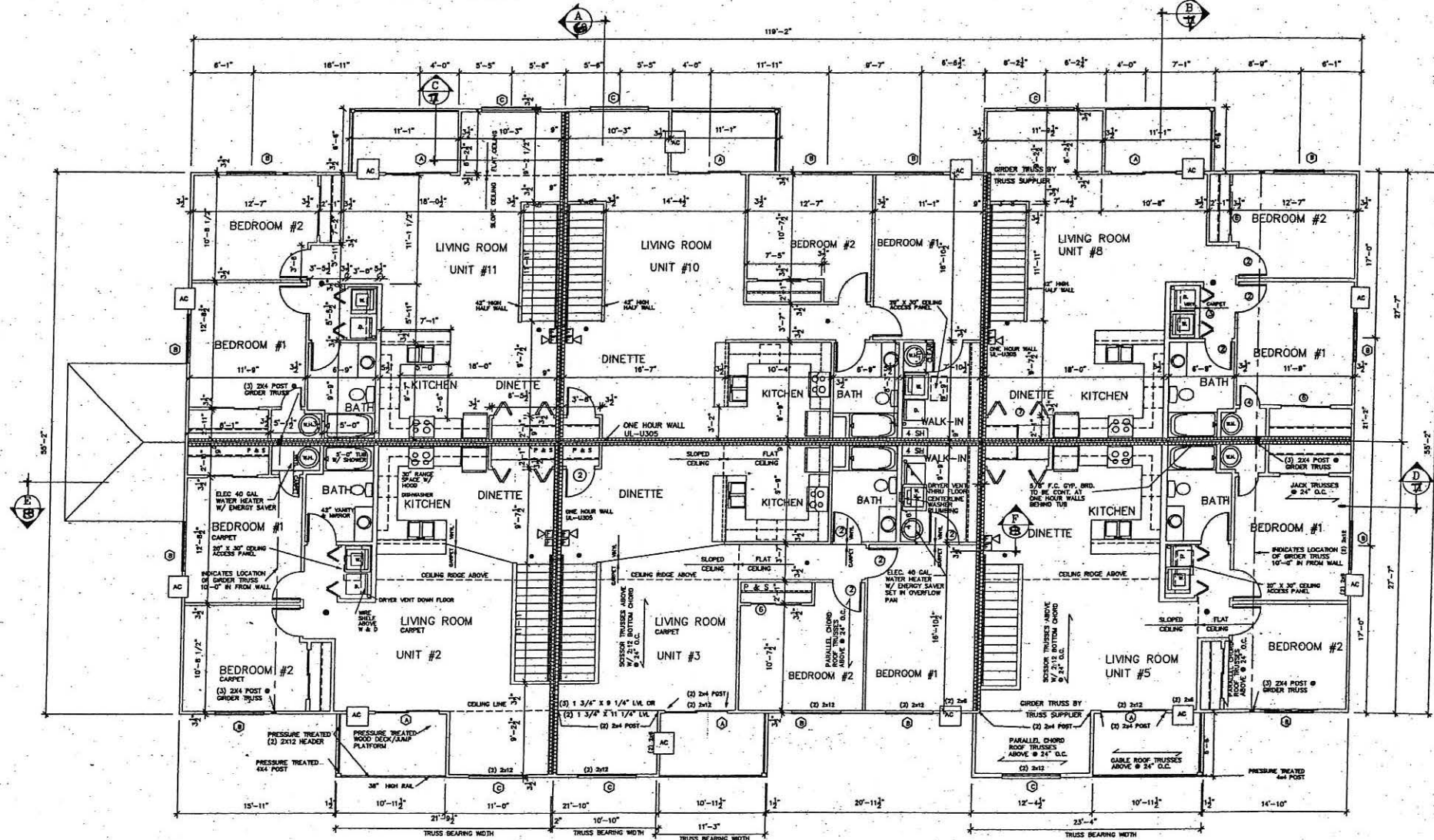
NOTES: FIRE ALARM SYSTEM

- EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND TOP OF STAIRS AT SECOND FLOOR UNITS AND A HORN IN DINING AREAS
- ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED W/ A BACKUP POWER SOURCE.
 - A SMOKE DETECTOR SHALL BE LOCATED IN HALL 6'-0" FROM BEDROOM DOOR.
 - SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP
- SMOKE ALARM
 - ◻ FIRE ALARM HORN
 - ◻ FIRE ALARM PULL STATION

7. FOLLOWING IS A SCHEDULE FOR FASTENING OF GYPSUM BOARD:

	FASTENER SPACING	
	FIRST FLOOR	SECOND FLOOR
INTERIOR PARTY WALLS - SHORT WAY	7"	7"
INTERIOR PARTY WALLS - LONG WAY	7"	7"
EXTERIOR WALLS - SHORT WAY	4"	7"
EXTERIOR WALLS - LONG WAY	7"	7"

SHORT WAY		
LONG WAY		



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

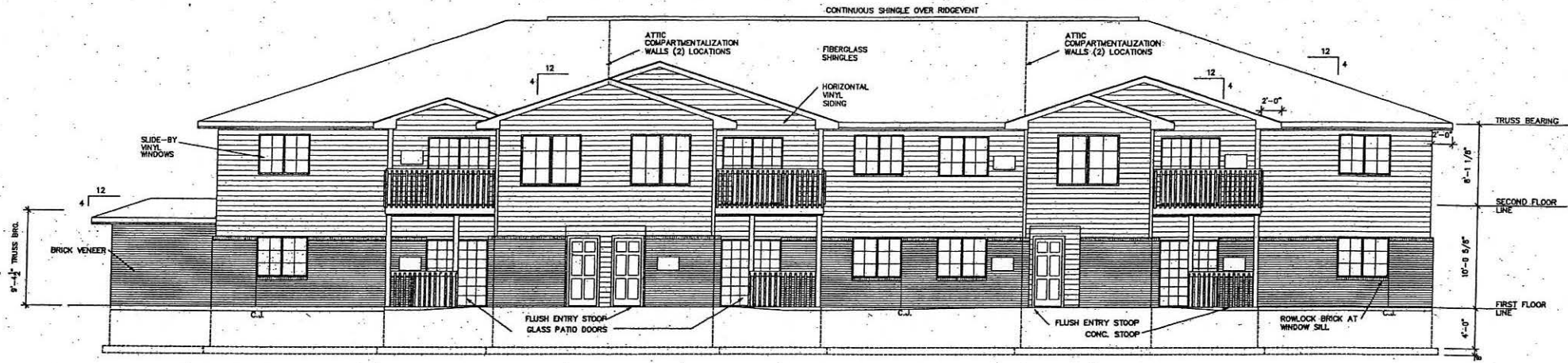
PRELIMINARY - NOT FOR CONSTRUCTION

NEW ARCHITECTURE, INC.
94313
PHONE 920-865-1718
FAX 920-865-1720

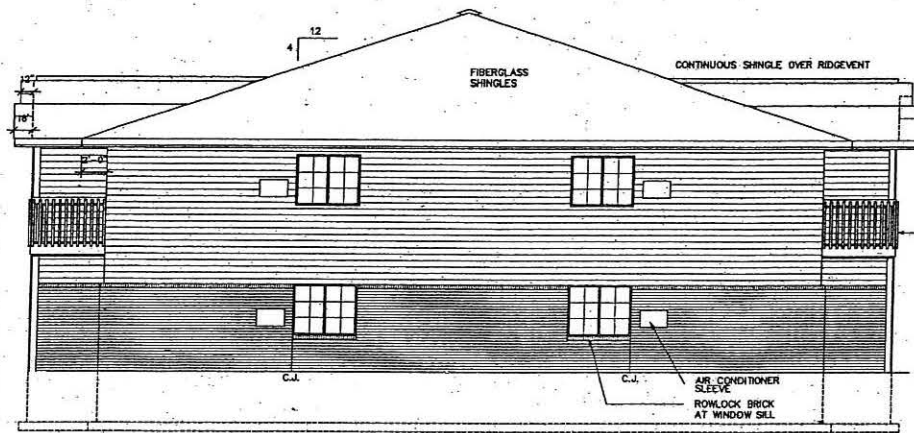
DATE: 6/14/02
JOB NO.: 2002-03D

SOUTH COMMERCIAL STREET APARTMENTS
FOR NICOLET LUMBER COMPANY
CITY OF NEENAH, WISCONSIN

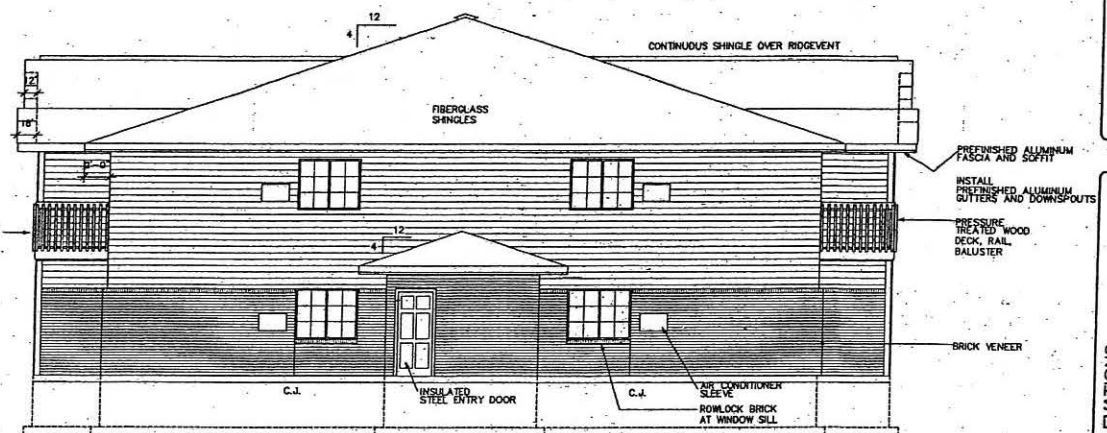
SECOND FLOOR PLAN
12 UNIT



FRONT ELEVATION (BACK ELEVATION SAME)
 SCALE: 3/16" = 1'-0"



SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

1881 TUTTLE ROAD
 Neenah, WI 54956
 PHONE 920-841-1718
 FAX 920-865-1720
NEW
 ARCHITECTURE, INC.

REVISED	DATE
2002-03D	6/14/02

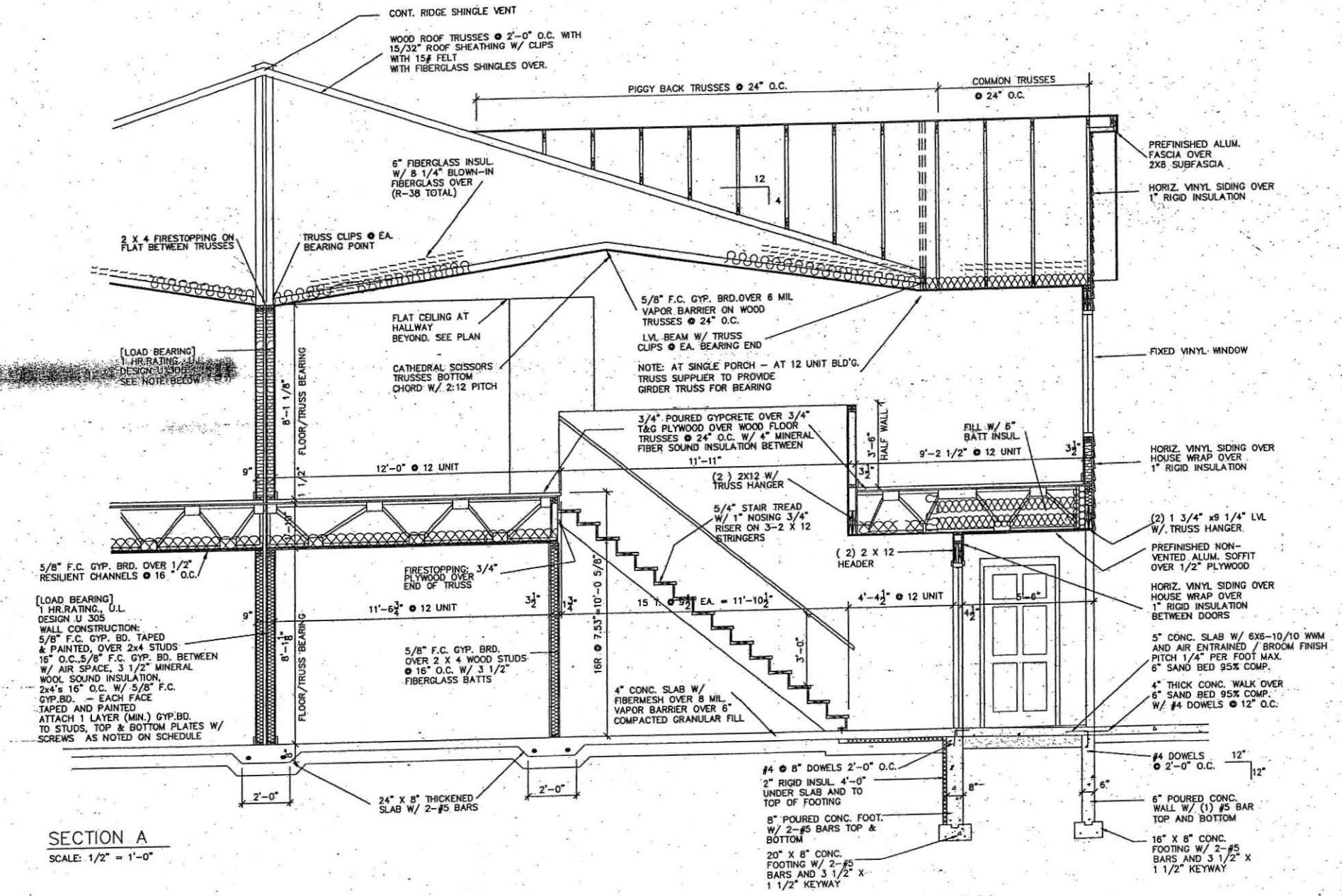
SOUTH COMMERCIAL STREET APARTMENTS
 FOR NICOLET LUMBER COMPANY
 CITY OF NEENAH, WISCONSIN

EXTERIOR ELEVATIONS
 12 UNIT

JOB NO.	DATE	REVISION

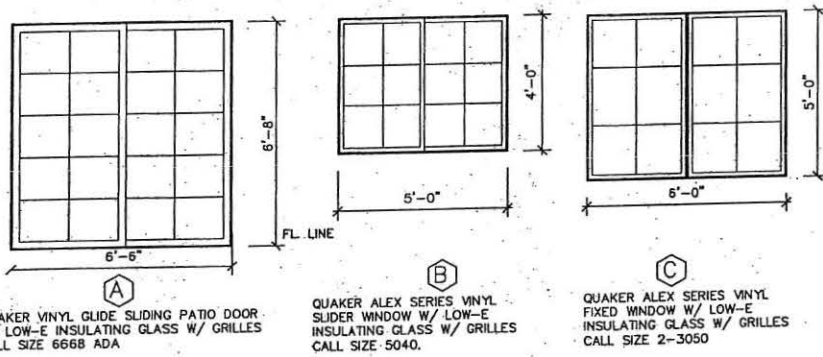
SOUTH COMMERCIAL STREET APARTMENTS
 FOR NICOLET LUMBER COMPANY
 CITY OF NEENAH, WISCONSIN

SECTION A



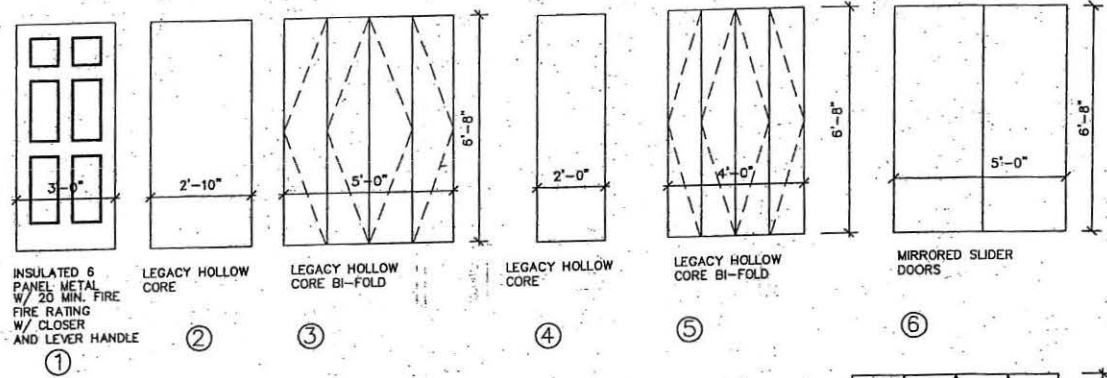
SECTION A
 SCALE: 1/2" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION



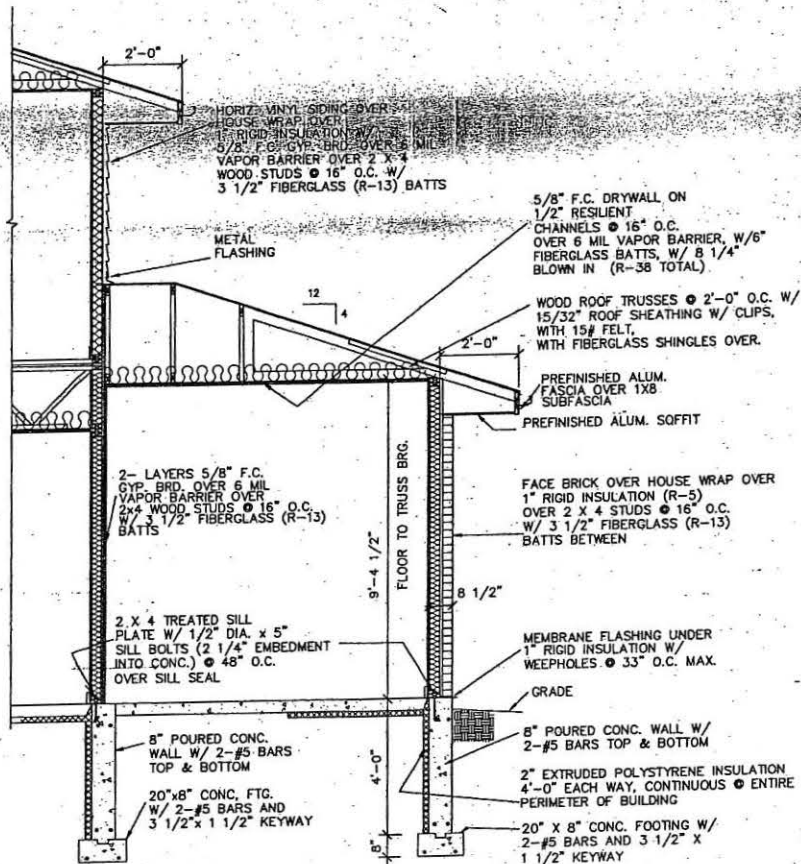
WINDOW TYPES

SCALE: 1/2" = 1'-0"



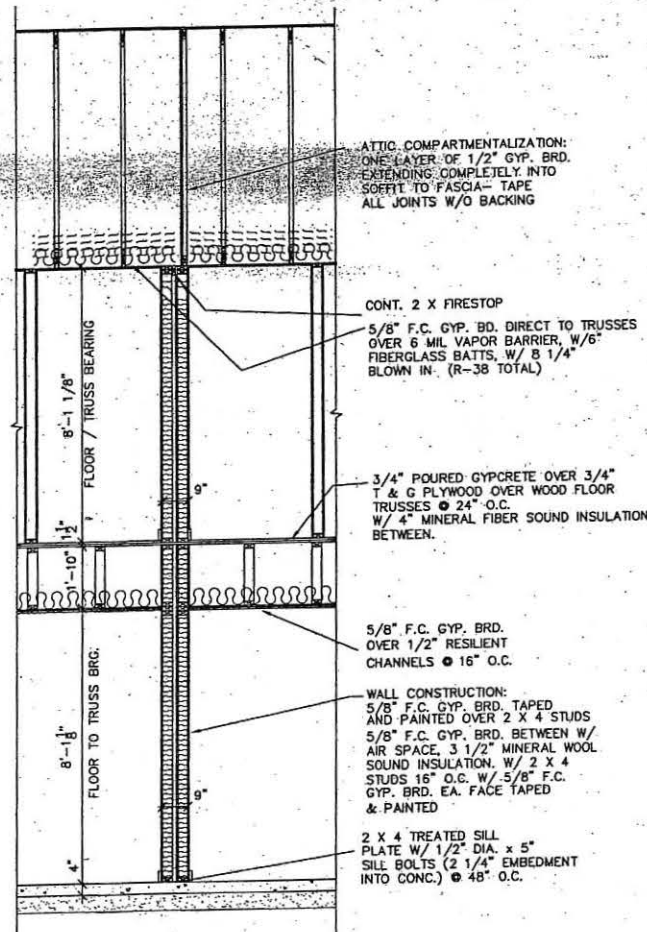
DOOR TYPES

SCALE: 1/2" = 1'-0"



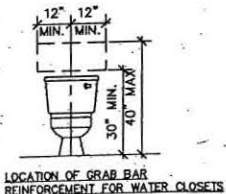
SECTION 'E'

SCALE: 1/2" = 1'-0"



SECTION 'F'

SCALE: 1/2" = 1'-0"



NOTE: THE AREAS OUTLINED IN DASHED LINES REPRESENT LOCATIONS FOR FUTURE INSTALLATION OF GRAB BARS FOR TYPICAL FIXTURE CONFIGURATIONS.

ACCESSIBILITY GUIDELINES (FIRST FLOOR UNITS)

LIGHT SWITCHES, ELECTRICAL OUTLETS AND PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15 INCHES ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION (FOR EXAMPLE, KITCHEN CABINETS BETWEEN 20 AND 25 INCHES IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 44 INCHES FOR FORWARD APPROACH OR 48 INCHES FOR SIDE APPROACH, PROVIDED THE OBSTRUCTION IS NO MORE THAN 24 INCHES APPROACH.

REINFORCED BATHROOM WALLS TO ALLOW LATER INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB WHEN THESE FACILITIES ARE PROVIDED, REINFORCEMENT FOR GRAB BARS MAY BE PROVIDED BY PLYWOOD OR WOOD BLOCKING

PRELIMINARY - NOT FOR CONSTRUCTION