

SEP 11 2008

Bishop's Creek Brownfield Redevelopment Site

Lot 2 – Site Redevelopment Workplan

FID: 341 055 77 ②

Bmnts: 02-41-306192

LOT 2 – SITE REDEVELOPMENT WORKPLAN

PROJECT

Bishop's Creek Brownfield Redevelopment Site:
Lot 2 – Site Redevelopment Workplan

Bishop's Creek Community Development Corporation
Brownfield Redevelopment Project
4763 North 32nd Street
Milwaukee, Wisconsin
DNR BRRTS 02-41-306192
FID: 341055770

CLIENT

Bishop's Creek Community Development Corporation
3500 West Mother Daniels Way
Milwaukee, WI 53209

Project Number

J04013

Date

September 10, 2008

DRAKE Consulting Group, LLC
530 South Eleventh Street
Milwaukee, WI 53204



September 10, 2008

Mr. John Hnat
Wisconsin Department of Natural Resources
2300 North Martin Luther King Jr. Drive
Milwaukee, WI 53212-3128

RE: Bishop's Creek Community Development Corporation Property —
Lot 2 Site Redevelopment Workplan
4763 North 32nd Street, Milwaukee, Wisconsin.
DNR BRRTS 02-41-306192; FID: 341055770; Drake Project J04013

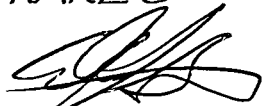
Dear Mr. Hnat:

Attached please find the Lot 2 Site Redevelopment Workplan associated with the proposed redevelopment activities at the Bishop's Creek Community Development Corporation's (BCCDC's) Brownfield Redevelopment Site located in Milwaukee, Wisconsin. The Lot 2 Workplan provides a summary of the environmental conditions associated with this area of the BCCDC Brownfield Redevelopment site and identifies the anticipated methods, techniques and practices which are intended to address these conditions during the redevelopment at the site. This letter and the attached Lot 2 Work plan follows the August 2008 meeting between the Department, BCCDC, and CommonBond.

As was discussed at the August 12 meeting, the parties are seeking a "comfort letter" from the Department regarding the remaining work that is to be done at Lot 2. The Lot 2 work plan has been prepared to specify the tasks that must be undertaken in order to achieve closure for the known environmental conditions that exist at Lot 2. Therefore, the comfort letter would indicate that the Department has reviewed the Lot 2 work plan, and that the Department concurs that, once the work plan has been implemented, it should lead to a successful closure of the known environmental conditions at Lot 2. (Obviously, if additional environmental conditions are discovered that require additional investigation and remedial action, those will need to be addressed pursuant to Wisconsin law.)

If you have any questions or need additional information regarding the attached Lot 2 Workplan, please call us at (414) 384-1440.

Respectfully,
DRAKE Consulting Group, LLC



D.J. Burns
Project Director



Chelsea M. Corson
Project Manager

Cc: Bishop Sedgwick Daniels
John W. Daniels Jr., Esq. & George J. Marek, Esq.
Daren Daniels – Holy Redeemer COGIC
Andre Townsel, Esq.
Ellen Higgins – CommonBond
Michael H. Simpson, Esq.

LOT 2 - SITE REDEVELOPMENT WORKPLAN

**BISHOP'S CREEK COMMUNITY DEVELOPMENT CORPORATION
BROWNFIELD REDEVELOPMENT PROJECT
4763 NORTH 32ND STREET
MILWAUKEE, WISCONSIN**

This Lot 2 Site Redevelopment Workplan (Lot 2 Workplan) has been prepared to provide a framework for the redevelopment activities associated with CommonBond Communities' proposed Bishop's Creek Housing Project which will be constructed within the boundaries of Lot 2 of the Bishop's Creek Community Development Corporation (BCCDC) brownfield redevelopment site located at 4763 North 32nd Street. Specifically, the Lot 2 Workplan aims to provide the WDNR with an understanding of the proposed redevelopment activities being contemplated for the area within Lot 2 and of the proposed remedial actions which are anticipated to address potential direct-contact risk concerns, reduce the contaminant mass at the site via source removal, and reduce the potential for future threat to groundwater via site capping activities, as well as to address the specific environmental conditions identified during a recent meeting with the WDNR with regard to the proposed redevelopment activities at Lot 2. The Workplan has also been prepared to address several of the issues identified in the WDNR's correspondence dated August 14, 2008 as they relate to the Lot 2 site.

DELINEATION OF PROPERTY/SITE BOUNDARIES

The attached figure, entitled "Exhibit A," depicts the proposed Certified Survey Map associated with the division of the Master BCCDC site, which comprises approximately 5 acres of land near the intersection of Hampton Avenue and 32nd Street in the City of Milwaukee, Wisconsin. The proposed subdivision of the property will result in the creation of Lot 1, Lot 2 and Lot 3 as depicted on the figure.

For the purpose of conducting the CommonBond Communities portion of the redevelopment activities, BCCDC will work with the WDNR to have a new Bureau for Remediation and Redevelopment Tracking System (BRRTS) number assigned to Lot 2, in order to provide for a more streamlined approach to addressing the environmental conditions associated with the Lot 2 site. The issuance of this BRRTS number will also

*Need new
check for new
lot whenever
for closure*

allow for the Lot 2 site to achieve case closure independent of the remainder of the BCCDC site (BRRTS No. 02-41-306192), pending the completion of the required environmental activities associated with the environmental conditions associated with the Lot 2 site as outlined in the Lot 2 Workplan. Following the submittal of the Lot 2 Workplan, BCCDC will work with the WDNR to have the new number assigned for the Lot 2 site.

As the Department is aware, the Wisconsin Department of Commerce has already issued a Leaking Underground Storage Tank (LUST) site identification number for two LUST sites which are located within or near the proposed Lot 2 boundary depicted in the figure entitled "Exhibit A." The Commerce Identification Number (COMM Id.) assigned to the two LUST sites is 53209-6083-63. There are two reported occurrences ("A" & "B") associated with COMM Id. 53209-6083-63 at the BCCDC site. The LUST sites are located near Building #16 and Building #17.

The Building #16 LUST site is identified as Occurrence ID#18902 (Occurrence "A") and the Building #17 LUST site is identified as Occurrence ID#18903 (Occurrence "B"). The WDNR has previously granted closure of the Building #16 LUST site, and has required no further action with regard to this release. The Building #16 LUST site is located within the northern portion of Lot 2. The Building #17 LUST site is located in the central portion of Lot 2, near the northwestern corner of the existing Building #17 location.

DESCRIPTION OF PROPOSED IMPROVEMENTS – LOT 2: COMMONBOND COMMUNITIES HOUSING PROJECT

The current plans for the Lot 2 site include the construction of a multi-story residential complex. The proposed construction of this complex constitutes the first phase of the redevelopment of the BCCDC brownfield site.

The redevelopment plans for the Lot 2 site include the razing/demolition of the existing buildings located within the Lot 2 boundary (primarily Building #17). A buffer zone will be established around Lot 2 so that new construction activities can be commenced.

BCCDC has contracted with a licensed asbestos and lead-based paint abatement firm (Braxton) to provide appropriate pre-demolition abatement/removal of these materials

from the site in order to allow the selected demolition contractor (Cream City) to raze/demolish the targeted structures in accordance with all appropriate local, state and federal regulations.

The razing/demolition activities will include the removal of all footings, foundations, basements, etc. and will include the capping, abandoning, sealing, grouting, or removal of other appurtenances and utility lines which are not anticipated to be re-used for the project. These activities will minimize and/or eliminate the presence of preferential pathway migration routes at the site. Representatives of Drake will be on-site during the demolition of the structures within the Lot 2 site and will evaluate these potential pathways (including the grated drains within the sub-basement of Building #17) with regard to the potential for contamination to be present within these corridors. Preferential pathway migration routes in the vicinity of Lot 2 will also be assessed during the general site grading operations, in accordance with the soon to be finalized Master Site Redevelopment Workplan/Soil Management Plan.

The new facility will overlie the former location of Building #17, which is located adjacent to 32nd Street. The new facility will also overlie the former east-west access drive which formerly serviced the BCCDC site. Although the proposed residential facility will overlie the Building #17 leaking underground storage tank (LUST) site, the hot-spot removal of petroleum-contaminated soil will be conducted in the vicinity of the former location of the LUST. Hot-spot removal will be undertaken to the extent necessary to eliminate the risk to human health and the environment from this LUST site. the newly constructed building will act as both a barrier to the direct-contact exposure pathway and as an impermeable cap which will reduce future infiltration and minimize future threat to groundwater from the LUST site.

The proposed residential facility will be constructed utilizing a “slab-on grade” building technique. This method will result in the construction of a barrier (first floor slab) which will eliminate or significantly reduce the potential for direct-contact with any residual soil contamination. The elimination of basements from the project design will also result in the elimination of risk associated with vapor/gas migration into such “basement” areas. The construction of the “slab-on-grade” first floor will also involve the installation of a moisture-barrier above a sub-grade granular material which will minimize potential moisture and vapor accumulation within the facility. Recommendations for sealing utility/plumbing connections have also been provided to the Department to reduce the

risk of vapor transmission into the built environment, especially in the areas where petroleum soil contamination had been identified.

LOT 2 - WORKPLAN DISCUSSION/MEETING WITH WDNR

In response to the recently submitted “draft” Master Site Redevelopment Workplan/Soil Management Plan Report which addressed the entire BCCDC redevelopment site, WDNR representatives John (“Jay”) Hnat and Mark Davis met with representatives of BCCDC, its consultant (Drake Consulting Group) and representatives of CommonBond Communities (Attorney Michael Simpson of Reinhart, Boerner, et. al. attended the meeting).

During the meeting, copies of the proposed redevelopment plans including architectural plans prepared by Continuum Architects and site grading/elevation plans prepared by Graef Anhalt Schloemer were distributed. Copies of these plans are also attached to this Workplan. In addition, a site diagram depicting the soil boring/monitoring well locations for the entire Bishop’s Creek Brownfield Redevelopment Project Site were distributed along with the tabulated analytical data from these locations. A copy of this previously distributed information is also attached to this Workplan for reference.

As a result of the meeting between the parties, it was determined that the formulation of a Workplan designed to address the remaining environmental conditions specific to the proposed redevelopment of Lot 2 would be of benefit to all parties. The formulation of the Workplan included a contingency protocol, which is included as an ancillary portion of the Lot 2 Workplan.

LOT 2 - ENVIRONMENTAL CONDITIONS

The environmental conditions remaining to be addressed which are specific to Lot 2 consist of the following:

- The presence of an “open” LUST site (Building #17 LUST site)
- The presence of pooled water within the sub-basement of Building #17
- The potential presence of a high-capacity well within the sub-basement of Building #17

- The observed tank within the sub-basement of Building #17 (believed to be associated with the high-capacity water supply system) will be evaluated to determine its prior use/contents/purpose, if possible
- The presence of soil contamination within the proposed playground area at Lot 2 and other potential direct-contact soil risk exposure areas
- The potential presence of asbestos containing building materials (ACBMs) and lead-based paint (LBP) materials in structures slated for demolition
- Development of a contingency protocol to inform the WDNR of newly discovered conditions

For the purpose of the Lot 2 Workplan, the environmental conditions identified above form the basis for environmental work associated with the proposed redevelopment of this area and represent the conditions present at the site which must be addressed in order for the Lot 2 site to achieve regulatory closure from the WDNR.

As was discussed during the meeting with the WDNR, the overall BCCDC Brownfield Redevelopment Project Site has historically exhibited little evidence of pervasive, widespread groundwater contamination and as such, remediation of groundwater is not anticipated to be integral to the successful overall environmental remediation or redevelopment of the BCCDC site or the Lot 2 site. A combination of engineered controls (including paving, construction of buildings, site capping, etc.) will be implemented throughout the redevelopment of the site, and the planned redevelopment activities will reduce the potential future threat to groundwater resulting from the observed incidence of soil contamination at the site. Although current groundwater conditions do not indicate pervasive, widespread groundwater contamination at either the Lot 2 or the larger BCCDC site, post-development groundwater monitoring of both the Lot 2 and larger BCCDC site will be addressed (if necessary to obtain closure from the WDNR), via the installation of select monitoring wells.

If site conditions require placement of the sites on the WDNR's groundwater GIS Registry, both the Lot 2 site and the BCCDC site will be placed on the groundwater GIS Registry. Placement of these sites on the GIS Registry is not anticipated to have any marked effect on the prospect for redevelopment of these sites, because the sites are serviced by a municipal water supply system and local ordinances prevent the installation of potable wells at the sites.

WORKPLAN COMPONENTS

BUILDING #17 LUST SITE – HOT SPOT SOIL EXCAVATION

The hot-spot petroleum contamination soil removal activities associated with the Building #17 LUST site will be overseen by Drake. BCCDC intends to have Drake coordinate the completion of this activity with the remainder of the site redevelopment activities.

The removal of petroleum contaminated soils in the vicinity of Building #17 will result in either the off-site disposal of excavated materials or disposal of the resultant soils at a WDNR-approved soil management area within the larger BCCDC site (which will be located outside of the boundary of Lot 2 and related buffer area). Drake will follow its standard operating procedures for confirmation sampling following hot-spot soil excavation. Depending on the size of the excavation, an appropriate number of post-excavation soil samples will be obtained to verify the removal of contamination and to provide an assessment of the amount and type of contamination remaining in place, if any. Drake's standard procedures include the collection of sidewall samples and floor sample(s) depending upon the size of the excavation.

CHARACTERIZATION/DISPOSAL OF POOLED WATER WITHIN BUILDING #17 SUB-BASEMENT

As discussed with the Department, the sub-basement of Building #17 presently contains a significant quantity (>5,000 gallons) of pooled water, which may have come into contact with contaminants. The source of some of the pooled water is likely associated with the lack of an intact roof structure overlying Building #17 (i.e. openings are present in the existing roof structure which allows precipitation in the form of rain and snow to drain into the sub-basement). Additionally, some of the pooled water may have been conveyed to the sub-basement area via overland drainage during fire-suppression activities conducted at the site.

Prior to the demolition of the Building #17 structure, the pooled water will be tested for contaminants and the results will be evaluated in order to determine the proper disposal of these liquids. If the pooled water requires environmental management, BCCDC will seek

both City and treatment facility approval to discharge the pooled water to the Milwaukee Metropolitan Sewerage District's treatment facility. If testing of the water indicates that conveyance and discharge to the storm-water system servicing the site is acceptable, the pooled water will be pumped at a permissible discharge rate into the storm-sewer system or an alternative option will be implemented.

At the time of the completion of this report, Drake has submitted a representative sample of the pooled water to an analytical testing laboratory and is awaiting the results of the testing. Depending upon the outcome of the testing, a proper method of disposal will be implemented.

- Results

POTENTIAL ABANDONMENT OF HIGH-CAPACITY WELL LOCATED WITHIN BUILDING #17

As discussed with the Department, a high-capacity well is believed to be located within the sub-basement of Building #17 on the Lot 2 site. The high capacity well will be abandoned prior to the construction of the CommonBond facility if it is located within the Lot 2 site.

Following the demolition of Building #17, access to the sub-basement of Building #17 will be more readily obtainable and such access will therefore allow for proper well abandonment procedures to be conducted. The high-capacity well abandonment will be conducted in accordance with applicable WDNR requirements, or if necessary by virtue of site conditions, variances from the specified abandonment requirements will be requested from the appropriate WDNR Water Supply Program representative (Sharon Schaver, at present). If site conditions allow, a representative sample of the water from the high-capacity well will be submitted for laboratory analysis, per the WDNR's request. In accordance with the WDNR's request, Drake has contacted a representative of the WGNHS with regard to the planned abandonment of the high-capacity well.

- Top hole + purged

The construction of the new residential structure (cap) over the former location of the high-capacity well will also minimize and largely eliminate potential contaminant infiltration to the underlying aquifer via downward migration in the vicinity of the former high-capacity well.

SOIL CONTAMINATION – DIRECT CONTACT RISK MITIGATION AT PLAYGROUND AND NON-CAPPED AREAS WITHIN LOT 2

As depicted in the attached site grading figures, it is anticipated that the general grading of the site will result in a situation whereby some areas of the site may exhibit the potential for direct-contact risk (i.e. the presence of accessible contaminated soil is located within four feet of ground surface elevation). At those areas of the site where direct-contact does present an issue, engineered barriers (e.g. liners, clay caps, berms, swales, etc.) may be placed to minimize the potential for direct-contact; impaired soil may be excavated and properly disposed, or alterations to the proposed plan elevations may be made.

Dependent upon the establishment of final design elevations, the proposed playground area may require additional remedial measures to be undertaken. If the playground elevation places the direct-contact soil at an accessible position relative to ground surface, excavation of the underlying contaminated soils may be required.

→ Playground Area

In the event that site grading operations cause direct-contact issues to be present, the direct-contact issues will be addressed and the contaminated soil will be either managed via off-site disposal or the implementation of other capping/barrier techniques, as discussed earlier in this report.

The primary determining factor with regard to the placement of capping or barriers will be the need to eliminate direct-contact risk (i.e. if contamination above permissible levels is present within 4 feet of final ground surface, it will need to be addressed via removal or capping/barrier techniques).

ACBM/LBP PRE-DEMOLITION ABATEMENT ACTIVITIES

BCCDC has required its contractors to conduct the proposed abatement/razing/demolition activities at the site in accordance with all local, state and federal regulations. A representative of the WDNR (Mark Davis) has been provided with copies of the pre-demolition asbestos reports which contain information regarding the presence of ACBM or LBP materials previously identified in the structures within Lot 2. Mr. Davis has also conducted site visits to monitor the progress of the on-going ACBM and LBP abatement activities which are being conducted by Braxton Environmental, Inc.

Following the completion of the abatement activities, the demolition contractor (Cream City) will then initiate the razing/demolition activities for the structures located within the boundary of Lot 2. As indicated above, BCCDC has required its contractors to conduct the proposed work in accordance with all local, state and federal regulations.

CONTINGENCY PROTOCOL

The Lot 2 Workplan also includes a contingency protocol which will be used to alert the WDNR to the discovery of unanticipated conditions if they arise.

As the Department is aware, certain “clean-sweep” activities have already been conducted at the site, which have reduced the possibility of discovering unknown hazardous or non-hazardous materials at the site. The “clean-sweep” activities resulted in the removal of the accessible and visually apparent drums, containers, and other associated items which may have affected future redevelopment activities.

In the event that previously unknown USTs, drums, or other regulated items are encountered during the site redevelopment activities, the WDNR will be contacted in order to inform the Department of the discovery of unknown conditions, and to coordinate appropriate actions to address these “unknown” conditions.

*New
Notification*

The contingency protocol outlined above will also be used if conditions arise such that additional contaminated soil is identified beyond the known “hot-spot” areas near the proposed playground area and the Building #17 LUST site. In such a situation Drake personnel will respond, as necessary (for example, during the Lot 2 grading operations) in order to field-screen, further evaluate and if necessary, remediate suspect areas of contamination which may be encountered.

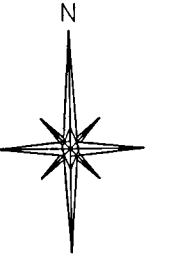
SUMMARY OF WORKPLAN OBJECTIVES

As detailed in the Lot 2 Workplan, the proposed activities seek to address the presence or potential presence of contaminated soils, pooled water, a high-capacity well, ACBM and LBP materials, and provide for a mechanism with which to address newly discovered conditions at the site if they are encountered.

Following the completion of the remedial activities contained within this Lot 2 Workplan, an evaluation of site conditions will be conducted and recommendations for closure of the Lot 2 site will be made to the Department based on the anticipated mitigation of all known environmental risks associated with the Lot 2 site.

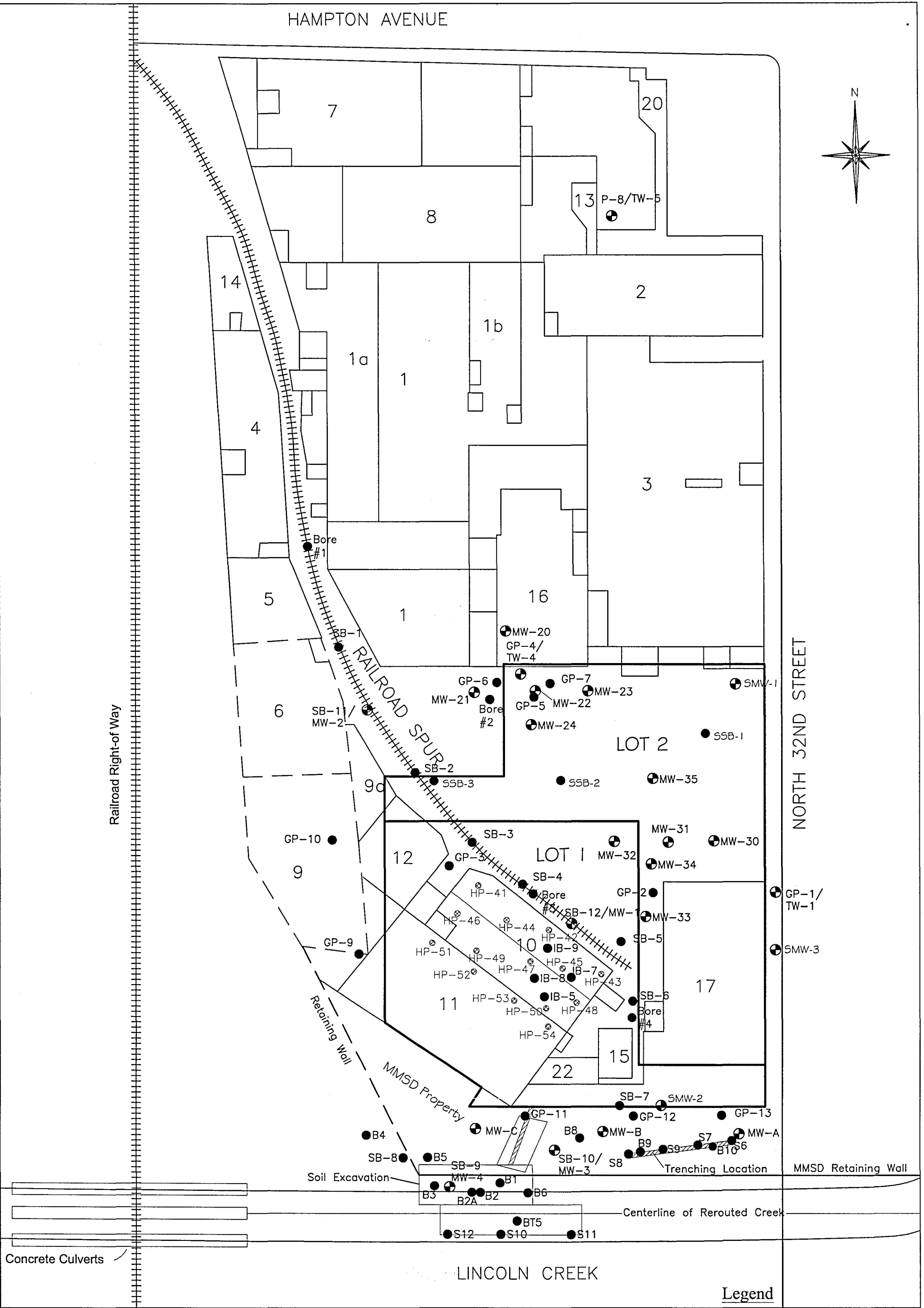
Following the completion of the remedial activities contained within this Lot 2 Workplan, an evaluation of site conditions will be conducted and recommendations for closure of the Lot 2 site will be made to the Department based on the anticipated mitigation of all known environmental risks associated with the Lot 2 site.

HAMPTON AVENUE



Railroad Right-of-Way

NORTH 32ND STREET



Concrete Culverts

LINCOLN CREEK

Legend



Diagram Scale
0° 60°

Drawn By AAM Date: 01/10/05
 Revised By CMC Date: 07/14/08
 Approved By Date:
 Project No: J04013 PM:
 *Note: All Dimensions on this diagram are approximate.

Figure 3
 Historical Environmental Investigation
 Bishop's Creek Community Development Corporation Brownfield Redevelopment Project Site

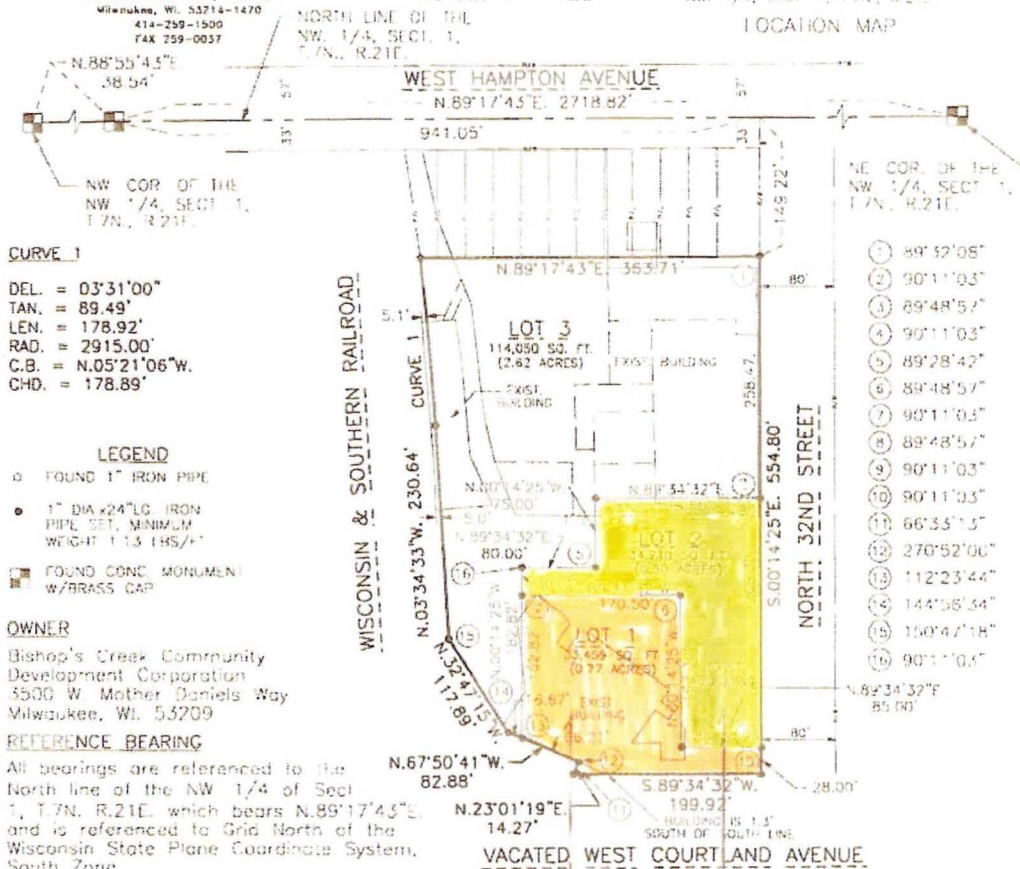
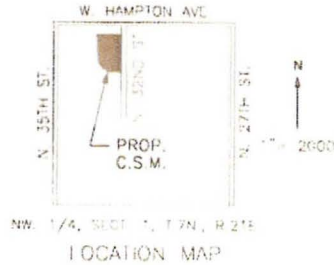
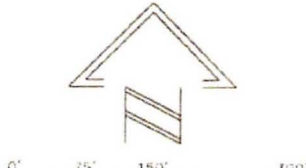
- ☐ Former Building Location
- ▨ Trench Location
- Monitoring Well Location
- Soil Boring Location
- ⊙ Hand Probe Location
- Bore #-Jatkar Soil Boring (1998)
- SB-HNTB Soil Boring (2000)
- GP-Drake Geoprobe (2004)
- TW-Drake Temp Well (2004)
- HP-Giles Hand Probe (2006)
- MW-Drake Monitoring Well (2006)
- SSB/SMW - SIGMA (2008)

Exhibit A

CERTIFIED SURVEY MAP NO. _____

A division of Lot B of Block 21 of North Milwaukee Townsite Company's Addition No. 2, in the Northwest 1/4 of the Northeast 1/4, Section 1, Township 7 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

GRAEF ANHALT SCHLOEMER and Associates Inc.
 One Honey Creek Corporate Center
 125 South Main Street, Suite 401
 Milwaukee, WI 53214-1470
 414-299-1500
 FAX 299-0037



CURVE 1
 DEL. = 03'31"00"
 TAN. = 89.49'
 LEN. = 178.92'
 RAD. = 2915.00'
 C.B. = N.05°21'06"W.
 CHD. = 178.89'

LEGEND
 ○ FOUND 1" IRON PIPE
 ● 1" DIA X 24" LG IRON PIPE SET, MINIMUM WEIGHT 1.15 LBS/FT
 ■ FOUND CONC. MONUMENT W/ BRASS CAP

OWNER
 Bishop's Creek Community Development Corporation
 3500 W. Mather Daniels Way
 Milwaukee, WI 53209

REFERENCE BEARING
 All bearings are referenced to the North line of the NW 1/4 of Sect 1, T.7N., R.21E., which bears N.89°17'43"E. and is referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone

Lot 1 - The Leased Property Lot 2 - The Property

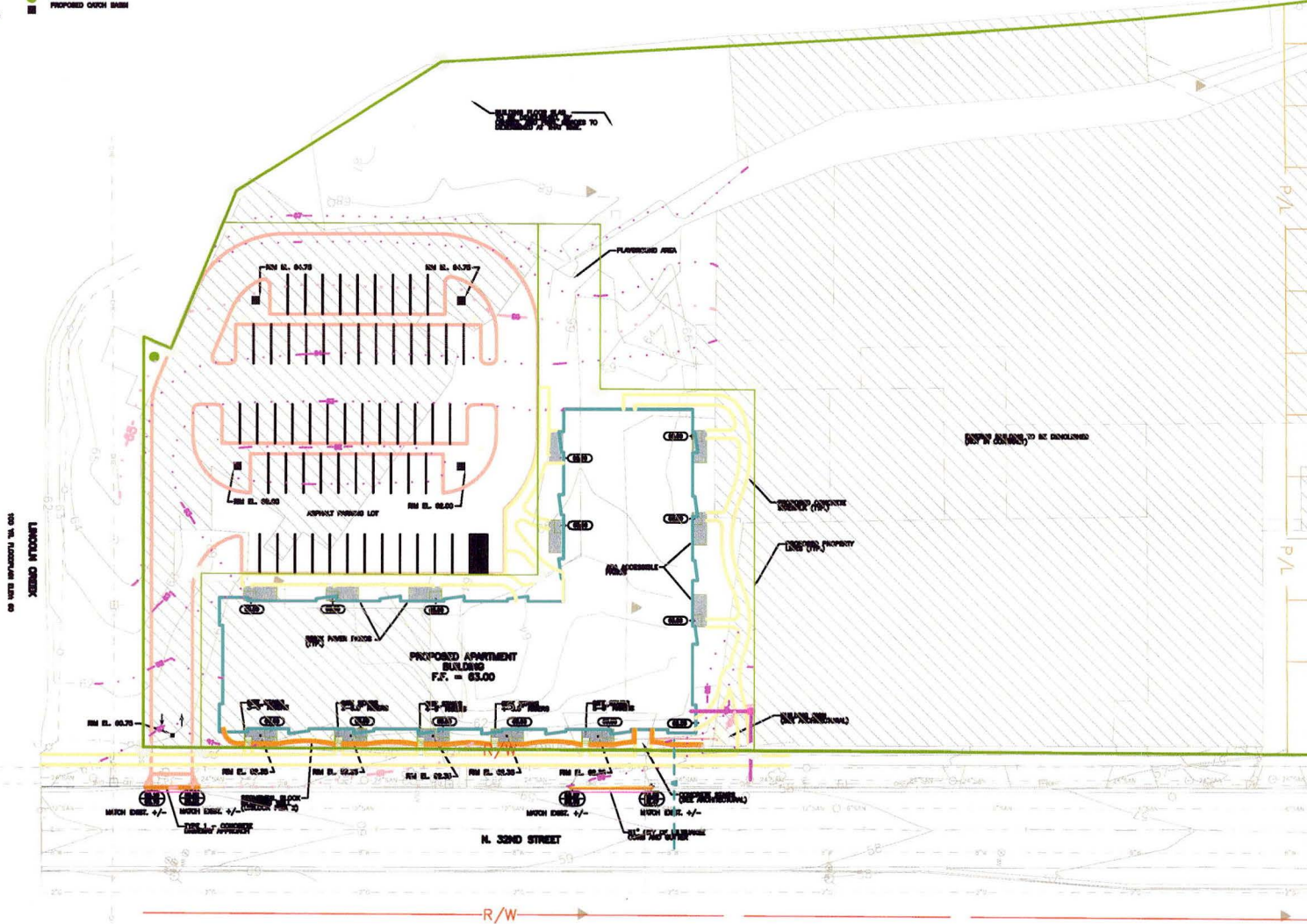


NOTES

1. THIS DESIGN PROVIDED BY MEANS, MEANS, EXEMPTION AND SHALL BE RESPONSIBLE TO THE DESIGNER. THE DESIGNER SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "CALL BEFORE YOU DIG" SERVICE PROVIDER AND FROM IT TO THE DESIGNER. THE DESIGNER SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
2. ALL ELEVATIONS SHOWN ON THIS CITY OF MADISON DESIGN SHALL BE REFERENCED TO MEAN SEA LEVEL, 1988 ADJUSTMENT, UNLESS NOTED OTHERWISE.
3. SEE SHEETS L1.00 AND L1.01 FOR LANDSCAPE INFORMATION.

LEGEND

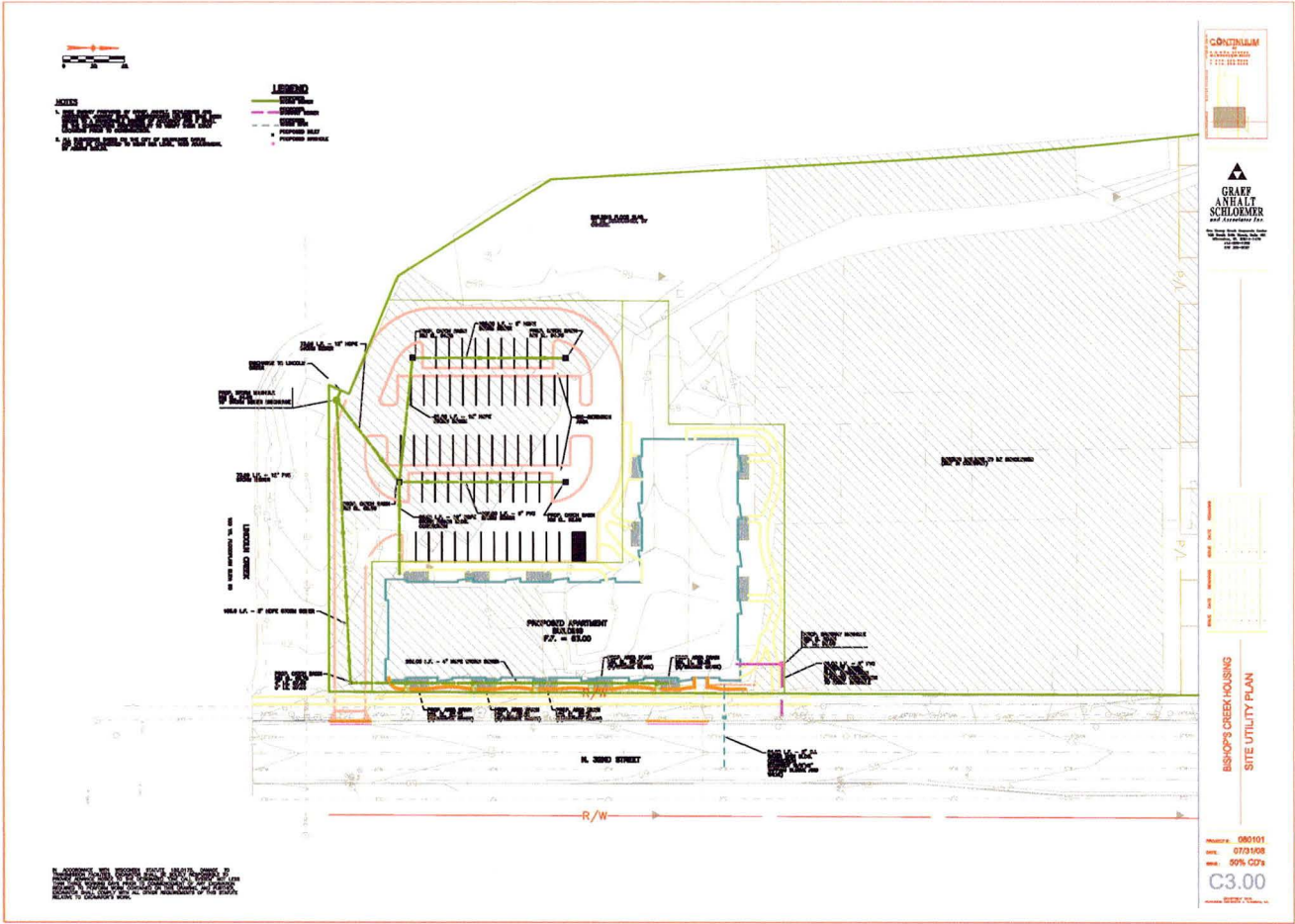
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED DRIVEWAY
- PROPOSED CURB BASH



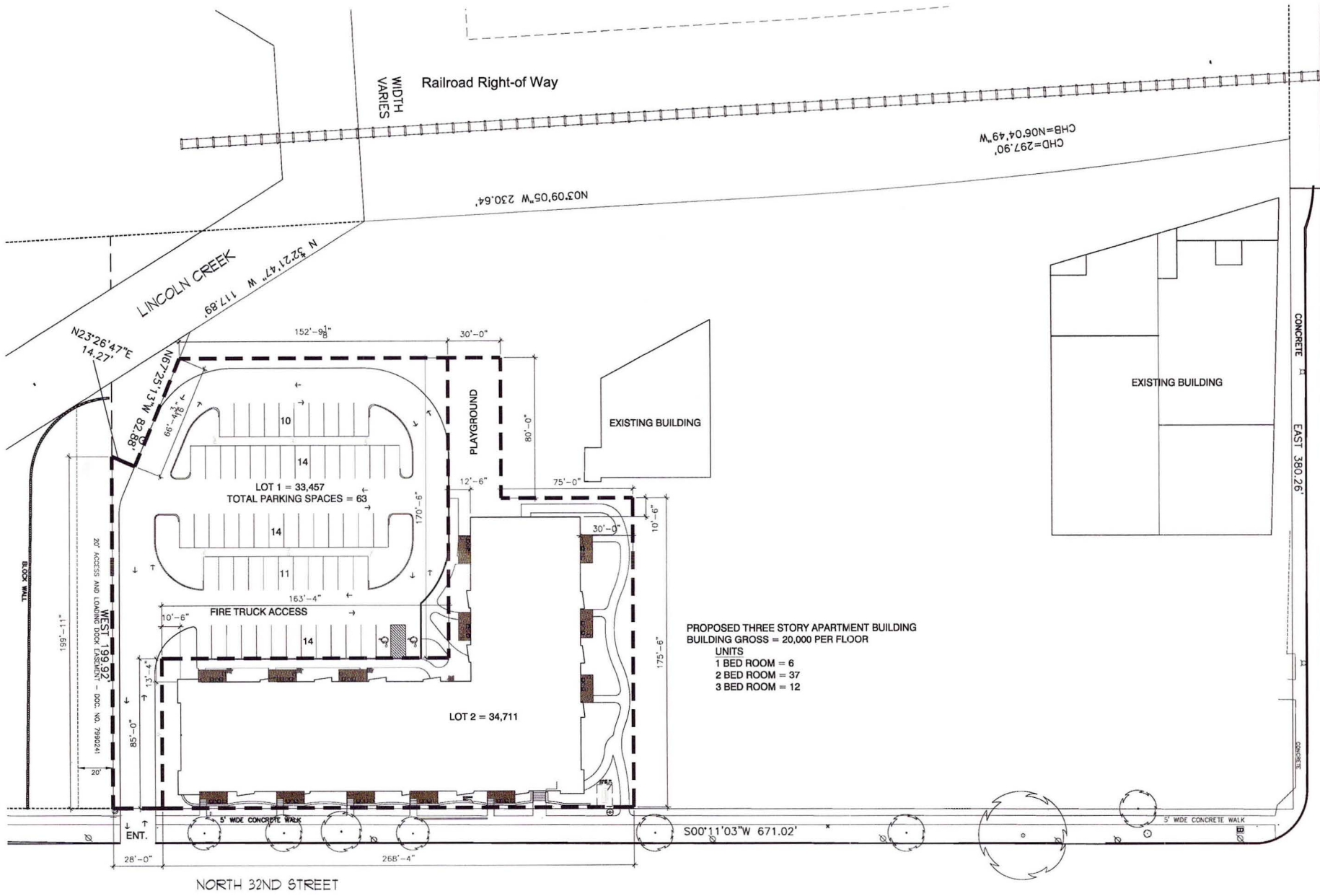
DATE	REVISION

BISHOP'S CREEK HOUSING
SITE GRADING PLAN

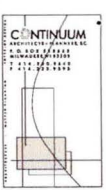
IN ACCORDANCE WITH WISCONSIN STATUTE 183.0175, DAMAGE TO TRANSPORTATION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "CALL BEFORE YOU DIG" SERVICE PROVIDER AND FROM IT TO THE DESIGNER. THE DESIGNER SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



LINE 06 OF
LINE 08 OF



PROPOSED THREE STORY APARTMENT BUILDING
 BUILDING GROSS = 20,000 PER FLOOR
 UNITS
 1 BED ROOM = 6
 2 BED ROOM = 37
 3 BED ROOM = 12



NO.	DATE	REVISION

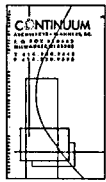
BISHOP'S CREEK HOUSING
 ARCHITECTURAL SITE PLAN



PROJECT # 080101
 DATE 07/31/08
 SCALE 50% CD'S

A0.10
CONTINUUM ARCHITECTURE & PLANNING, L.L.C.

ARCHITECTURAL SITE PLAN
1" = 30'



NO.	DATE	DESCRIPTION

BISHOP'S CREEK HOUSING
NEW WORK PLAN
FIRST FLOOR



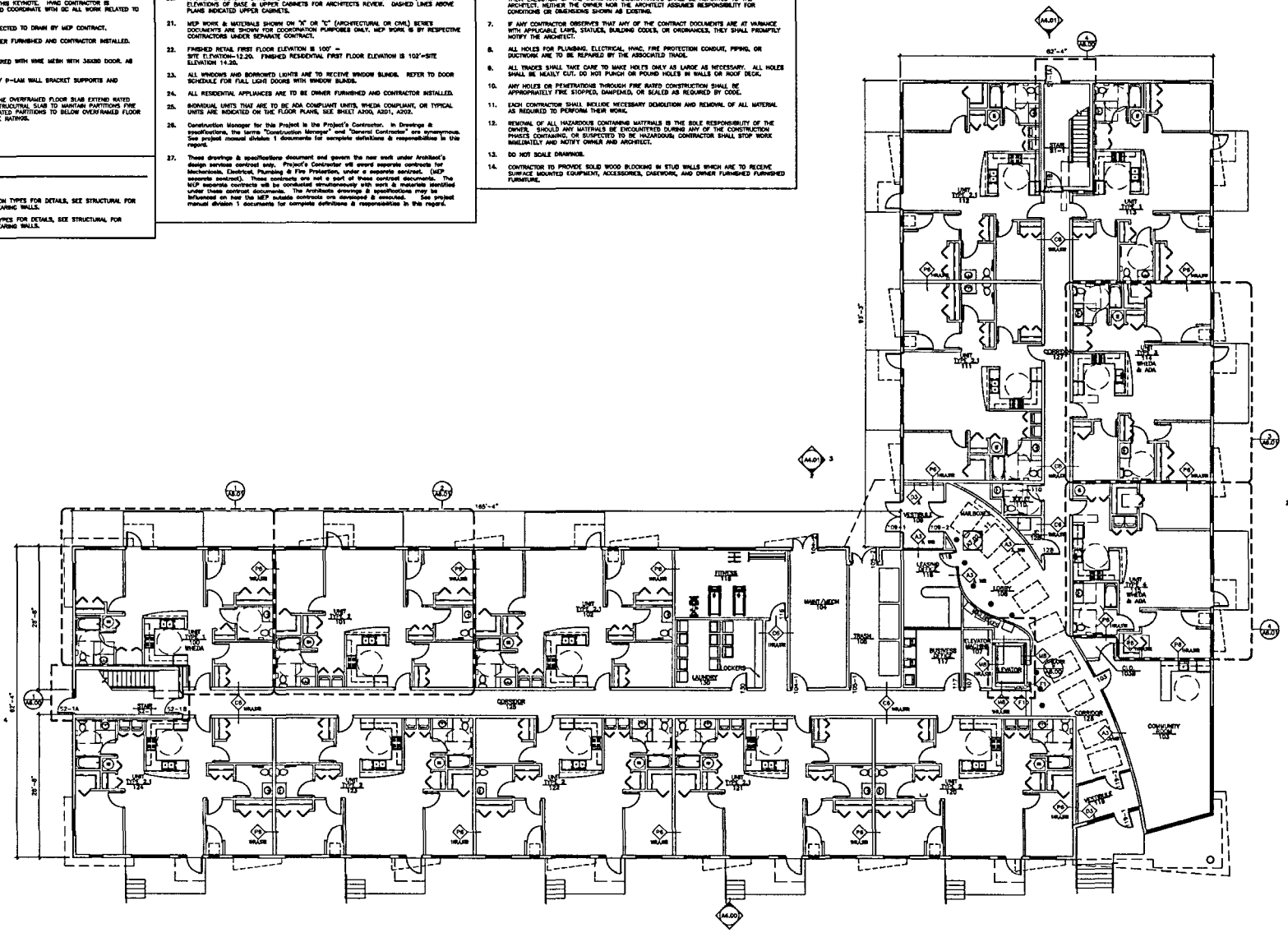
PROJECT: 080101
DATE: 07/31/08
SCALE: 50% C.D.P.

A2.01

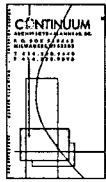
- ### GENERAL NOTES TO CONTRACTOR(S):
1. THE DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN SPECIFICATION MANUAL.
 2. THESE DRAWINGS ARE DIAGNOSTIC AND SHOW THE INTENT OF THE PROJECT, BUT DO NOT NECESSARILY INDICATE ALL MATERIALS OR METHODS OF CONSTRUCTION. ALL CONTRACTORS ARE RESPONSIBLE TO REVIEW THE DOCUMENTS THOROUGHLY AND FOR PROVIDING ALL MATERIALS AND MEANS OF CONSTRUCTION NECESSARY FOR THE COMPLETION OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE DRAWINGS.
 3. ALL WORK OF ALL TRADES, SHALL BE COMPLETED IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND ORDINANCES.
 4. EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE OWNER, THE OWNER'S OTHER CONTRACTORS, AND ALL OTHERS AT THE SITE.
 5. EACH CONTRACTOR IS TO OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC. AS REQUIRED FOR THE COMPLETION OF THEIR PORTION OF WORK.
 6. EACH CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE TO SATISFY THEIR EXECUTION OF THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT. WHETHER THE OWNER AND THE ARCHITECT ASSUMES RESPONSIBILITY FOR CONDITIONS OR DIMENSIONS SHOWN AS LISTED.
 7. IF ANY CONTRACTOR OBSERVES THAT ANY OF THE CONTRACT DOCUMENTS ARE IN VIOLATION WITH APPLICABLE LAWS, STATUTES, BUILDING CODES, OR ORDINANCES, THEY SHALL PROMPTLY NOTIFY THE ARCHITECT.
 8. ALL HOLES FOR PLUMBING, ELECTRICAL, HVAC, FIRE PROTECTION CONDUIT, PIPING, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSIGNED TRADE.
 9. ALL TRADES SHALL TAKE CARE TO MAKE HOLES ONLY AS LARGE AS NECESSARY. ALL HOLES SHALL BE NEATLY CUT, DO NOT PUNCH OR POUND HOLES IN WALLS OR ROOF DECK.
 10. ANY HOLES OR PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE APPROPRIATELY FIRE STOPPED, DAMPPED, OR SEALED AS REQUIRED BY CODE.
 11. EACH CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND REMOVAL OF ALL MATERIAL AS REQUIRED TO PERFORM THEIR WORK.
 12. REMOVAL OF ALL HAZARDOUS CONTAMINATING MATERIALS IS THE SOLE RESPONSIBILITY OF THE OWNER. SHOULD ANY MATERIALS BE ENCOUNTERED DURING ANY OF THE CONSTRUCTION PHASES, STOP WORK IMMEDIATELY AND NOTIFY OWNER AND ARCHITECT.
 13. DO NOT SCALE DRAWINGS.
 14. CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING IN STUCCO WALLS WHICH ARE TO RECEIVE SURFACE MOUNTED EQUIPMENT, ACCESSORIES, CASEWORK, AND OTHER FURNISHED FURNITURE.

- ### GENERAL NOTES TO CONTRACTOR(S): CONT.
15. EACH CONTRACTOR SHALL PATCH, LEVEL, AND PREPARE ALL WALLS AND FLOORS AS SCHEDULED AND REQUIRED TO RECEIVE NEW FINISHES.
 16. ALL ACCESSIBLE CABINETS, PANELS, DOORS, ETC. LOCATED IN FIRE RATED WALLS SHALL BE INSTALLED TO MAINTAIN FIRE RATED CONSTRUCTION.
 17. ALL BATHROOM ARE TO RECEIVE AN EXHAUST FAN BY MEP CONTRACT.
 18. INSTALL AN AUTOMATIC SPRINKLER SYSTEM FOLLOWING THE REQUIREMENTS OF THE 2005 WISCONSIN BOWLED CODE SECTION 803.3.1.1, 803.3.1.1.1, 809.1.2, AND 809.1.3. IT IS THE RESPONSIBILITY OF SPRINKLER CONTRACTOR TO CALCULATE & SUBMIT DWGS TO SUPPORT THE ARCHITECTURAL WALL CLEANING SYSTEM AS SHOWN ON THESE DRAWINGS.
 19. PROVIDE SMOKE DETECTORS IN ALL REQUIRED SPACES FOLLOWING THE REQUIREMENTS OF ALL APPLICABLE CODES, AND AS IDENTIFIED IN THE 2005 WISCONSIN BOWLED CODE SECTION 803.3.1.1. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING SPACES: ALL BEDROOMS/ SLEEPING AREAS, ON EACH STORY OF DWELLING UNIT, AND ON THE CEILING OR WALL, JUST OUTSIDE OF ALL SLEEPING AREAS.
 20. KITCHEN LAYOUTS IN UNITS ARE DETERMINED BY TO PROVIDE SHOP DRAWINGS FOR ALL ELEVATIONS OF BASE & UPPER CABINETS FOR ARCHITECTS REVIEW. DASHED LINES ABOVE PLANES INDICATED UPPER CABINETS.
 21. MEP WORK & MATERIALS SHOWN ON "N" OR "T" (MECHANICAL OR CIVIL) SHEETS DOCUMENTS ARE SHOWN FOR COORDINATION PURPOSES ONLY. MEP WORK IS BY RESPECTIVE CONTRACTORS UNDER SEPARATE CONTRACTS.
 22. FINISHED RETAIL FIRST FLOOR ELEVATION IS 100' - SITE ELEVATION - 12.20. FINISHED RESIDENTIAL FIRST FLOOR ELEVATION IS 102' - SITE ELEVATION - 14.20.
 23. ALL WINDOWS AND BOWLED LIGHTS ARE TO RECEIVE WINDOW BLINDS. REFER TO DOOR SCHEDULES FOR FULL LIGHT DOORS WITH WINDOW BLINDS.
 24. ALL RESIDENTIAL APPLIANCES ARE TO BE OWNER FURNISHED AND CONTRACTOR INSTALLED.
 25. BIOMIMETIC UNITS THAT ARE TO BE ADA COMPLIANT UNITS, WHEELCHAIR COMPLIANT, OR TYPICAL UNITS ARE INDICATED ON THE FLOOR PLANS. SEE SHEET A400, A401, A402.
 26. Construction Manager for this Project is the Project's Contractor. In Drawings & specifications, the terms "Construction Manager" and "General Contractor" are synonymous. See project manual division 1 documents for complete definitions & responsibilities in this regard.
 27. These drawings & specifications document and govern the new work under Architect's design services contract only. Project's Contractor will award separate contracts for Mechanical, Electrical, Plumbing & Fire Protection, under a separate contract. (MEP separate contract). These contracts are not a part of these contract documents. The MEP separate contracts will be coordinated subsequently with these drawings specified under these contract documents. The Architect drawings & specifications may be influenced on how the MEP separate contracts are developed & executed. See project manual division 1 documents for complete definitions & responsibilities in this regard.

- ### NEW WORK KEY NOTES
- KEY NOTES APPLY TO ALL NEW WORK PLANS AND MAY NOT BE USED ON EVERY SHEET.
1. PROVIDE PARKING SPACE, STRIPPING, AND HANDICAPP SPACE SIGNAGE AS REQUIRED.
 2. ALL CLOSETS TO BE PROVIDED WITH ADJUSTABLE SHIRT CLOSET SHELVING AND BOOSE AS INDICATED IN DRAWINGS THAT CAN ACCOMMODATE A CLOSET SHELVING AND ROD HEIGHT BETWEEN 36" - 72" ABOVE FINISHED FLOOR. ALL WRECK AND ADA UNITS ARE REQUIRED TO HAVE A MAX. HEIGHT OF 48" ABOVE FINISHED FLOOR.
 3. CONCRETE STOPS, SEE STRUCTURAL.
 4. BATHROOM CLOSETS PROVIDE WIRE SHELVING EVERY 12" FROM 24" ABOVE FINISHED FLOOR TO 72" ABOVE FINISHED FLOOR.
 5. LOCATION OF ELECTRICAL PANEL AS INDICATED PER THE KEYNOTE. ELECTRICAL CONTRACTOR TO SIZE, PURCHASE, INSTALL, AND COORDINATE WITH GC TO DETERMINE WALL DEPTH FOR FLUSH CONDITION. SURFACE MOUNTED PANELS NOT ACCEPTABLE.
 6. LOCATION OF REFRIGERATOR AS INDICATED PER THE KEYNOTE. HMO CONTRACTOR IS RESPONSIBLE TO SIZE, PURCHASE, INSTALL, AND COORDINATE WITH GC ALL WORK RELATED TO THE MECHANICAL SYSTEMS.
 7. PROVIDE WATER HEATER AND DRAIN PAN CONNECTED TO DRAIN BY MEP CONTRACT.
 8. FRONT LOADING STACKED WASHER/DRYER, OWNER FURNISHED AND CONTRACTOR INSTALLED. (O.F.C.A.)
 9. PROVIDE 2X4 STUD FRAMING @ 16" O.C. COVERED WITH WIRE MESH WITH 3/8" DIA. DOOR, AS INDICATED ON DRAWINGS.
 10. PROVIDE 3/4" PLAIN CONCRETE 1" LONG W/ P-LAM WALL BRACKET SUPPORTS AND DRAGONET HOLE EVERY 6' O.C.
 11. WHERE RATED PARTITIONS ARE REQUIRED AT THE OVERPAVED FLOOR SLAB EXTERIOR RATED PARTITIONS BELOW TO TOP OF FIRST FLOOR STRUCTURAL SLAB TO MAINTAIN PARTITIONS FIRE RATINGS. AT ALL DOOR OPENINGS PROVIDE RATED PARTITIONS TO BELOW OVERPAVED FLOOR SLAB AT THE DOOR OPENING TO MAINTAIN FIRE RATING.
- ### NEW WORK LEGEND
- EXISTING TO REMAIN
- LABOURY PARTITION. SEE PARTITION TYPES FOR DETAILS, SEE STRUCTURAL FOR ADDITIONAL REQUIREMENTS OF BEARING WALLS.
- ONE PARTITION. SEE PARTITION TYPES FOR DETAILS, SEE STRUCTURAL FOR ADDITIONAL REQUIREMENTS OF BEARING WALLS.



NEW WORK PLAN - FIRST FLOOR



NO.	DATE	REVISION

BISHOP'S CREEK HOUSING
NEW WORK PLAN - SECOND & THIRD FLOOR

NORTH

PROJECT # 080101
DATE 07/31/08
SCALE 50% CD's

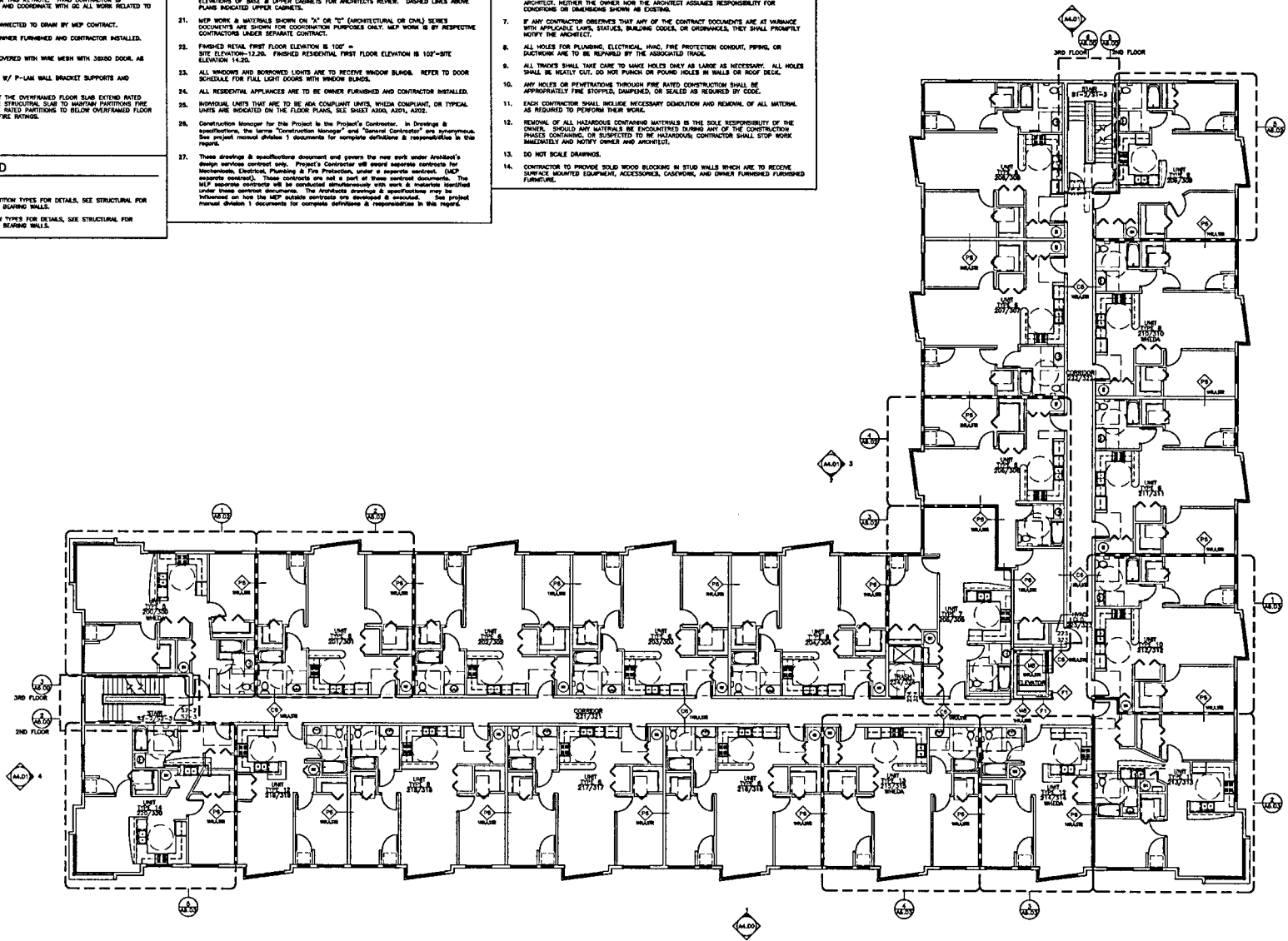
A2.02

REVISED: 08/01/08

- ### GENERAL NOTES TO CONTRACTOR(S):
- THIS DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN SPECIFICATION MANUAL.
 - THESE DRAWINGS ARE DIAGNOSTIC AND SHOW THE INTENT OF THE PROJECT, BUT DO NOT NECESSARILY INDICATE ALL MATERIALS OR METHODS OF CONSTRUCTION. ALL CONTRACTORS ARE RESPONSIBLE TO REVIEW THE DOCUMENTS THOROUGHLY AND FOR PROVIDING ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY FOR THE COMPLETION OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE DRAWINGS.
 - ALL WORK OF ALL TRADES SHALL BE COMPLETED IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND ORDINANCES.
 - EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE OWNER, THE OWNER'S OTHER CONTRACTORS, AND ALL OTHERS AT THE SITE.
 - EACH CONTRACTOR IS TO OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC. AS REQUIRED FOR THE COMPLETION OF THEIR PORTION OF WORK.
 - EACH CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE TO SATISFY THEIR OBLIGATION OF THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT. NEITHER THE OWNER NOR THE ARCHITECT ASSUMES RESPONSIBILITY FOR CONDITIONS OR DIMENSIONS SHOWN IN DRAWINGS.
 - IF ANY CONTRACTOR OBSERVES THAT ANY OF THE CONTRACT DOCUMENTS ARE IN VARIANCE WITH APPLICABLE LAWS, STATUTES, BUILDING CODES OR ORDINANCES, THEY SHALL PROMPTLY NOTIFY THE ARCHITECT.
 - ALL HOLES FOR PLUMBING, ELECTRICAL, HVAC, FIRE PROTECTION CONDUIT, PIPING, OR DUCTWORK ARE TO BE REMOVED BY THE ASSOCIATED TRADE.
 - ALL TRADES SHALL TAKE CARE TO MAKE HOLES ONLY AS LARGE AS NECESSARY. ALL HOLES SHALL BE NEATLY CUT, DO NOT PUNCH OR POUND HOLES IN WALLS OR ROOF DECK.
 - ANY HOLES OR PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE APPROPRIATELY FIRE STOPPED, DAMPPROOF, OR SEALED AS REQUIRED BY CODE.
 - EACH CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND REMOVAL OF ALL MATERIAL AS REQUIRED TO PERFORM THEIR WORK.
 - REMOVAL OF ALL HAZARDOUS CONTAMINATED MATERIALS IS THE SOLE RESPONSIBILITY OF THE OWNER. SHOULD ANY MATERIALS BE ENCOUNTERED DURING ANY OF THE CONSTRUCTION PHASES CONTINGENT ON SUSPECTED TO BE HAZARDOUS, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER AND ARCHITECT.
 - DO NOT SCALE DRAWINGS.
 - CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING IN STUD WALLS WHICH ARE TO RECEIVE SURFACE MOUNTED EQUIPMENT, ACCESSORIES, CATCHERS, AND OWNER FURNISHED FURNITURE.

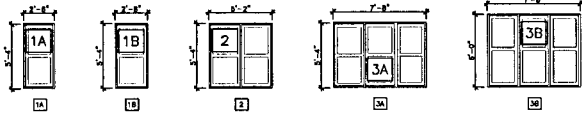
- ### GENERAL NOTES TO CONTRACTOR(S): CONT.
- EACH CONTRACTOR SHALL PATCH, LEVEL, AND PREPARE ALL WALLS AND FLOORS AS SCHEDULED AND REQUIRED TO RECEIVE NEW FINISHES.
 - ALL RECESSED CABINETS, PANELS, BOXES, ETC LOCATED IN FIRE RATED WALLS SHALL BE INSTALLED TO MAINTAIN FIRE RATED CONSTRUCTION.
 - ALL BATHROOM ARE TO RECEIVE AN EXHAUST FAN BY MEP CONTRACTOR.
 - INSTALL AN AUTOMATIC SPRINKLER SYSTEM FOLLOWING THE REQUIREMENTS OF THE 2003 INTERNATIONAL FIRE CODE SECTION 903.1.1, 903.1.2, 903.1.3, 903.1.4, 903.1.5, 903.1.6, 903.1.7, 903.1.8, 903.1.9, 903.1.10, 903.1.11, 903.1.12, 903.1.13, 903.1.14, 903.1.15, 903.1.16, 903.1.17, 903.1.18, 903.1.19, 903.1.20, 903.1.21, 903.1.22, 903.1.23, 903.1.24, 903.1.25, 903.1.26, 903.1.27, 903.1.28, 903.1.29, 903.1.30, 903.1.31, 903.1.32, 903.1.33, 903.1.34, 903.1.35, 903.1.36, 903.1.37, 903.1.38, 903.1.39, 903.1.40, 903.1.41, 903.1.42, 903.1.43, 903.1.44, 903.1.45, 903.1.46, 903.1.47, 903.1.48, 903.1.49, 903.1.50, 903.1.51, 903.1.52, 903.1.53, 903.1.54, 903.1.55, 903.1.56, 903.1.57, 903.1.58, 903.1.59, 903.1.60, 903.1.61, 903.1.62, 903.1.63, 903.1.64, 903.1.65, 903.1.66, 903.1.67, 903.1.68, 903.1.69, 903.1.70, 903.1.71, 903.1.72, 903.1.73, 903.1.74, 903.1.75, 903.1.76, 903.1.77, 903.1.78, 903.1.79, 903.1.80, 903.1.81, 903.1.82, 903.1.83, 903.1.84, 903.1.85, 903.1.86, 903.1.87, 903.1.88, 903.1.89, 903.1.90, 903.1.91, 903.1.92, 903.1.93, 903.1.94, 903.1.95, 903.1.96, 903.1.97, 903.1.98, 903.1.99, 903.1.100.
 - PROVIDE SMOKE DETECTORS IN ALL REQUIRED SPACES FOLLOWING THE REQUIREMENTS OF ALL APPLICABLE CODES, AND AS INDICATED IN THE 2003 INTERNATIONAL FIRE CODE SECTION 907.2.10. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING SPACES: ALL BEDROOMS/ SLEEPING AREAS, ON EACH STORY OF DWELLING UNIT, AND ON THE CEILING OR WALL JUST OUTSIDE OF ALL SLEEPING AREAS.
 - KITCHEN LAYOUTS IN UNITS ARE DIMENSIONED TO PROVIDE SHOP DRAWINGS BY ALL ELEVATIONS OF BASE & UPPER CABINETS FOR ARCHITECTS REVIEW. DASHED LINES ABOVE PLANS INDICATED UPPER CABINETS.
 - MEP WORK & MATERIALS SHOWN ON "A" OR "B" (ARCHITECTURAL OR CIVIL) SHEETS DOCUMENTS ARE SHOWN FOR COORDINATION PURPOSES ONLY. MEP WORK IS BY RESPECTIVE CONTRACTORS UNDER SEPARATE CONTRACT.
 - FINISHED RETAIL FIRST FLOOR ELEVATION IS 102' - SITE ELEVATION 11.25. FINISHED RESIDENTIAL FIRST FLOOR ELEVATION IS 102' - SITE ELEVATION 14.25.
 - ALL WINDOWS AND BORROWED LIGHTS ARE TO RECEIVE WINDOW BLINDS. REFER TO DOOR SCHEDULES FOR FULL LIGHT DOORS WITH WINDOW BLINDS.
 - ALL RESIDENTIAL APPLIANCES ARE TO BE OWNER FURNISHED AND CONTRACTOR INSTALLED.
 - INDIVIDUAL UNITS THAT ARE TO BE ADA COMPLIANT UNITS, WHEELCHAIR COMPLIANT, OR TYPICAL UNITS ARE INDICATED ON THE FLOOR PLANS, SEE SHEET A201, A202.
 - Consultation Manager for this Project is the Project's Customer. In Drawings & specifications, the terms "Construction Manager" and "General Contractor" are synonymous. Do not misread sheets & documents for complete definitions & responsibilities in the report.
 - These drawings & specifications document and govern the new work under Architect's design services contract only. Project's Contractor shall provide separate contracts for Mechanical, Electrical, Plumbing & Fire Protection, under a separate contract. (MEP elements omitted). These contracts are all a part of these contract documents. The MEP elements contract will be completed subsequently with specific and detailed specifications and shall be coordinated with the Architect's drawings & specifications prior to the start of construction. The Project's Contractor shall provide separate contracts for the project manual division 1 documents for complete definitions & responsibilities in the report.

- ### NEW WORK KEY NOTES
- KEY NOTES APPLY TO ALL NEW WORK PLANS AND MAY NOT BE USED ON EVERY SHEET.
- PROVIDE FINISH SPACE, STRIPPING, AND HANDICAPP SPACE SIGNAGE AS REQUIRED.
 - ALL CLOSETS TO BE PROVIDED WITH ADJUSTABLE WIRE CLOSET SHELVING AND RODS AS INDICATED IN DRAWINGS THAT CAN ACCOMMODATE A CLOSET SHELVING AND ROD HEIGHT BETWEEN 36" - 72" ABOVE FINISHED FLOOR. ALL WIGHA AND ADA UNITS ARE REQUIRED TO HAVE A MAX. HEIGHT OF 48" ABOVE FINISHED FLOOR.
 - CONCRETE STOPS, SEE STRUCTURAL.
 - BATHROOM CLOSETS PROVIDE WIRE SHELVING EVERY 12" FROM 24" ABOVE FINISHED FLOOR TO 72" ABOVE FINISHED FLOOR.
 - LOCATION OF ELECTRICAL PANEL AS INDICATED FOR THIS KEYNOTE. ELECTRICAL CONTRACTOR TO SIZE, PURCHASE, INSTALL, AND COORDINATE WITH GC TO ENLARGE WALL DEPTH FOR FLUSH CONDITION. SURFACE MOUNTED PANELS NOT ACCEPTABLE.
 - LOCATION OF THERMOSTAT AS INDICATED FOR THIS KEYNOTE. HVAC CONTRACTOR IS RESPONSIBLE TO SIZE, PURCHASE, INSTALL, AND COORDINATE WITH GC ALL WORK RELATED TO THE MECHANICAL SYSTEM.
 - PROVIDE WATER HEATER AND DRAIN PAN CONNECTED TO DRAIN BY MEP CONTRACTOR.
 - FRONT LOADING STACKED WASHER/DRYER, OWNER FURNISHED AND CONTRACTOR INSTALLED. (D.P.C.U.)
 - PROVIDE 3/4" STUD FRAMING @ 16" O.C. COVERED WITH WIRE MESH WITH 3/8" DOOR, AS INDICATED ON DRAWINGS.
 - PROVIDE 30" PLAIN COUNTERTOP 12" LONG, W/ P-LAM WALL BRACKET SUPPORTS AND DRUMMETER HOLES EVERY 4" O.C.
 - WHERE BATED PARTITIONS ARE PROVIDED AT THE OVERHUNG FLOOR SLAB EXTEND BATED PARTITIONS BELOW TO TOP OF FIRST FLOOR STRUCTURAL SLAB TO MAINTAIN PARTITIONS FIRE RATING. AT ALL DOOR OPENINGS PROVIDE BATED PARTITIONS TO BELOW OVERHUNG FLOOR SLAB AT THE DOOR OPENING TO MAINTAIN FIRE RATING.
- ### NEW WORK LEGEND
- | | |
|--|------------------------------------------------------------------------------------------------------------------|
| | EXISTING TO REMAIN |
| | MASONRY PARTITION, SEE PARTITION TYPES FOR DETAILS, SEE STRUCTURAL FOR ADDITIONAL REQUIREMENTS OF BARRING WALLS. |
| | DRW PARTITION, SEE PARTITION TYPES FOR DETAILS, SEE STRUCTURAL FOR ADDITIONAL REQUIREMENTS OF BARRING WALLS. |

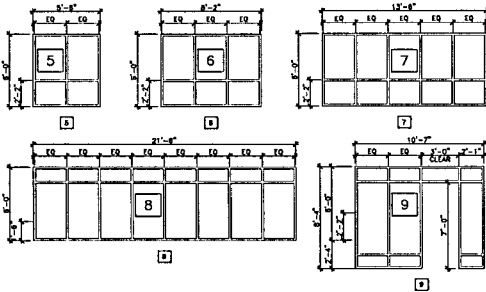


NEW WORK PLAN - SECOND & THIRD FLOOR
1/8" = 1'-0"

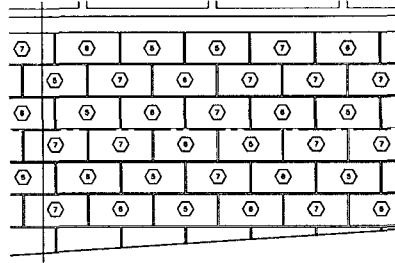
SINGLE HUNG - FIBERGLASS



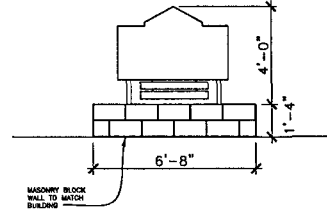
STOREFRONT - ALUMINUM



5 WINDOW TYPES
1/4" = 1'-0"



4 MASONRY BLOCK WALL DETAIL
1" = 1'-0"

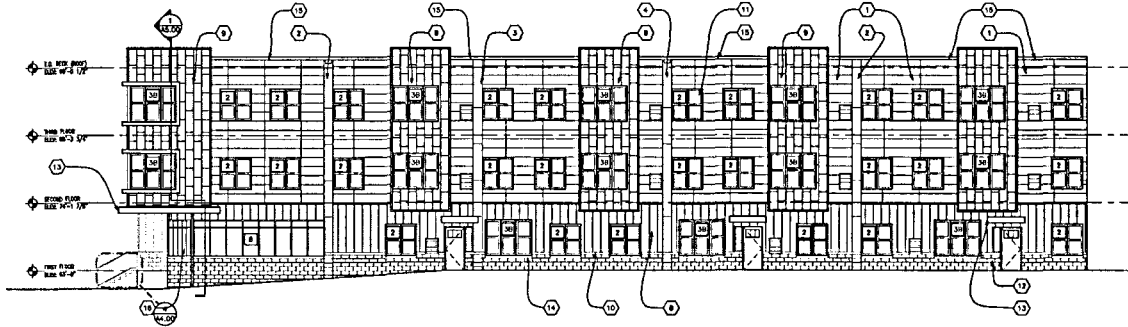


3 EXTERIOR ELEVATION - SIGNAGE
1/2" = 1'-0"

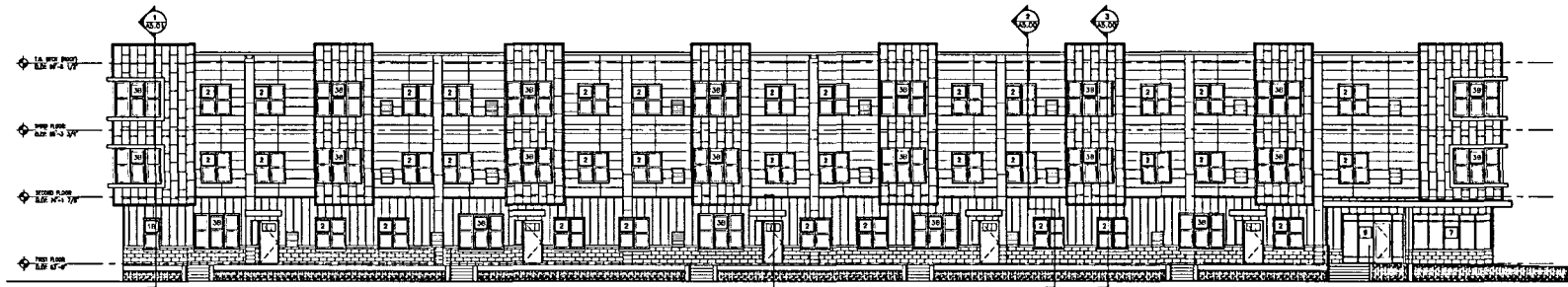
ELEVATION KEY NOTES

KEY NOTES APPLY TO ALL EXTERIOR ELEVATIONS AND MAY NOT BE USED ON EVERY SHEET.

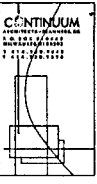
- 1 MOHRA - ARCHITECTURAL BLOCK SERIES - SAND - 16"X8"
- 2 MOHRA - ILLUMINATION CEMENT FIBER BOARD ACCENT PANELS SERIES - BEHMA - 18"X8"
- 3 MOHRA - ILLUMINATION CEMENT FIBER BOARD ACCENT PANELS SERIES - OYSTER - 18"X8"
- 4 MOHRA - ILLUMINATION CEMENT FIBER BOARD ACCENT PANELS SERIES - STORM - 18"X8"
- 5 CHU-1 - PREMIER BLOCK CORPORATION - 64-315 PERMANENT SEABHELL SMOOTH FACE
- 6 CHU-2 - PREMIER BLOCK CORPORATION - 64-703 METALIC ROUGH FACE
- 7 CHU-3 - PREMIER BLOCK CORPORATION - 64-018 RED DUST SMOOTH FACE
- 8 ATAS INTERNATIONAL, INC. - 600 SEAM SERIES - 1" STANDING SEAM PANELS - SUBMIT COLOR CHART FOR ARCHITECT'S SELECTION.
- 9 ATAS INTERNATIONAL, INC. - 18"X6" STAGGERED STANDING SEAM SHINGLE AND SIDE TRIM - SUBMIT COLOR CHART FOR ARCHITECT'S SELECTION.
- 10 STONE DUMP EDGE - APPRESCRAFT INTERNATIONAL, INC. - RENAISSANCE MASONRY UNIT - ROUND MOSE TRIM PIECE.
- 11 INSULATED ALUMINUM DOUBLE HUNG WINDOW.
- 12 MASONRY BLOCK WALL USING 1, 2, 3 AND 4.
- 13 CANOPY OVER ALL ENTRY DOORS AT FIRST FLOOR TO BE WRAPPED IN METAL.
- 14 STONE SILL TRIM PIECE - APPRESCRAFT INTERNATIONAL, INC. - RENAISSANCE MASONRY UNIT.
- 15 PREFINISHED ALUMINUM COPING.
- 16 ALUMINUM STOREFRONT AND SPANSEL PANELS.



2 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



1 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



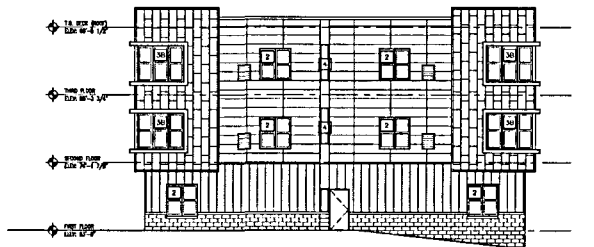
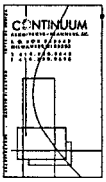
NO.	DATE	REVISION

BISHOP'S CREEK HOUSING
 EXTERIOR ELEVATIONS - NORTH & EAST

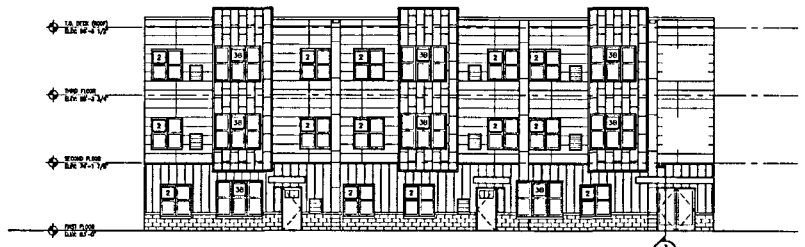
ELEVATION KEY NOTES

KEY NOTES APPLY TO ALL EXTERIOR ELEVATIONS AND MAY NOT BE USED ON EVERY SHEET.

- ① NCHWA - ARCHITECTURAL BLOCK SERIES - SAND - 18"X8".
- ② NCHWA - ILLUMINATION CEMENT FIBER BOARD ACCENT PANELS SERIES - SEDNA - 18"X8".
- ③ NCHWA - ILLUMINATION CEMENT FIBER BOARD ACCENT PANELS SERIES - OYSTER - 18"X8".
- ④ NCHWA - ILLUMINATION CEMENT FIBER BOARD ACCENT PANELS SERIES - STORM - 18"X8".
- ⑤ CMU-1 - PREMIER BLOCK CORPORATION - 84-318 PERMANENT SEASHELL SMOOTH FACE.
- ⑥ CMU-2 - PREMIER BLOCK CORPORATION - 04-707 MARSHAND ROUGH FACE.
- ⑦ CMU-3 - PREMIER BLOCK CORPORATION - 84-016 RED DUST SMOOTH FACE.
- ⑧ ATAS INTERNATIONAL, INC. - EGS SEAM SERIES - 16" STANDING SEAM PANELS - SUBMIT COLOR CHART FOR ARCHITECT'S SELECTION.
- ⑨ ATAS INTERNATIONAL, INC. - 16"X24" STAGGERED STANDING SEAM SHINGLE AND SIDE TRIM - SUBMIT COLOR CHART FOR ARCHITECT'S SELECTION.
- ⑩ STONE COMP EDGE - ARCHISCRAPT INTERNATIONAL, INC. - RENAISSANCE MASONRY UNIT - FORDS HOME TRIM PIECE.
- ⑪ INSULATED ALUMINUM SHINGLE HING WINDOW.
- ⑫ MASONRY BLOCK WALL LIGHTS ⑬ AND ⑭.
- ⑮ CHIMNEY OVER ALL ENTRY DOORS AT FIRST FLOOR TO BE WRAPPED IN METAL.
- ⑯ STONE SILL TRIM PIECE - ARCHISCRAPT INTERNATIONAL, INC. - RENAISSANCE MASONRY UNIT.
- ⑰ PREFINISHED ALUMINUM COPING.
- ⑱ ALUMINUM STOREFRONT AND SPANCKEL PANELS.



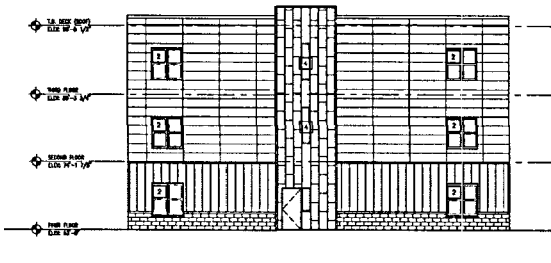
4 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



2 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

NO.	DATE	REVISION

BISHOP'S CREEK HOUSING
EXTERIOR ELEVATIONS - SOUTH & WEST

PROJECT # 080101
DATE 07/31/08
SCALE 50% CD'S
A4.01

PLANTING NOTES:

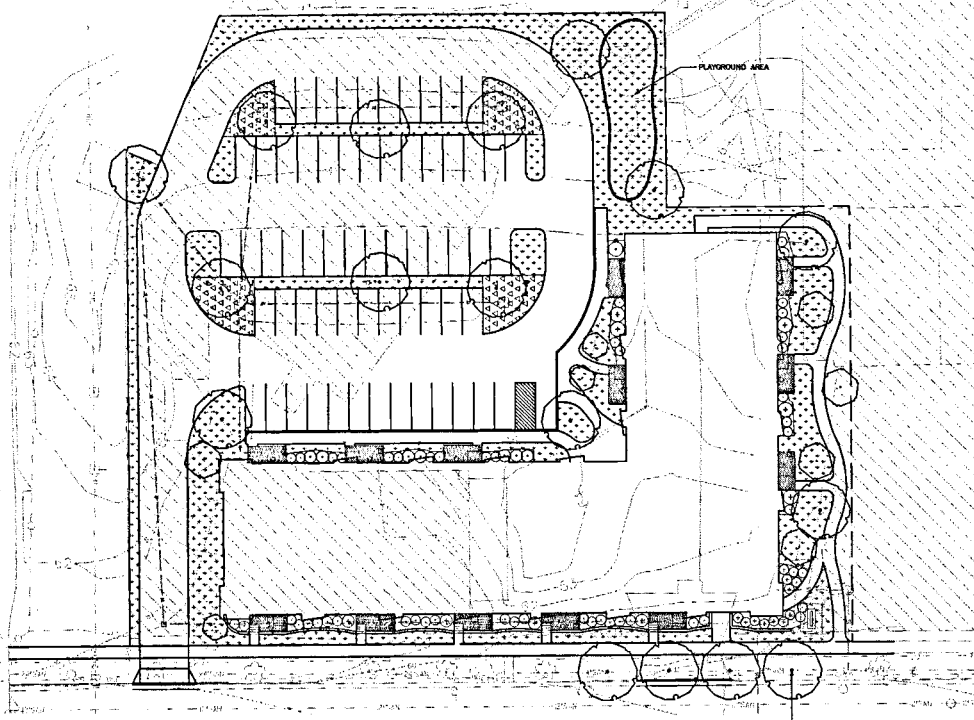
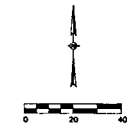
- Contractor shall be responsible for locating areas of all related existing and proposed conditions, utilities, plans and elevations, etc. prior to bidding and construction. The Contractor shall be held responsible for identifying all existing and proposed conditions for all underground utility lines, including depths, prior to any excavation. Contractor shall take all necessary precautions to ensure the safety of all utility lines.
- The Contractor shall not attempt to proceed with construction as designed when it is apparent that unforeseen obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Designer/Architect. The Contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish all planting and related operations.
- See Specifications and Details for planting methods, requirements, soil leveling, materials, protection and plant protection.
- The acceptable tolerances for this project are material and specific layout is required as shown on the layout, planting, and other sheets. Plants shall be spaced as per plans. Final location and spacing of all plant materials shall be accepted by the Landscape Architect in advance of planting. Contractor shall notify Owner's Representative 48 hours prior to commencement of work to coordinate project sequencing activities.
- See details and specifications for plant spacing methods, plant pit dimensions, bedding and other related requirements.
- If conflicts arise between size of trees and plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
- Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/commmon names, sizes, seasonal variations (if given) and other remarks.
- It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "topped" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to prior approval of Owner's Representative before installation.
- Form 72 inch, or as otherwise indicated, including basin around all trees not installed in lawn or paved areas. Fill basins with 2" top layer of mulch. Minimum 72 inch diameter minimum clear soil area around all trees in mulched lawn, mulch shall be 4" of wood mulch. See detail.
- The Contractor shall fine grade, slope and be responsible for positive drainage away from all structures and throughout site, with necessary soil fill areas. The low spots or ponding of surface water will be accepted in the final work. No notes or details will be accepted. Final grade tolerances are +/-0.1 foot maximum.
- All planting beds to be excavated from adjacent lawn with stated soil depth specifications. Slope per plans for trees/shrubs as specified by Landscape Architect, prior to installation. Final per details on "planting detail" sheet.
- Where provided, area materials and plant quality attributes are for information only. Contractor is responsible to do their own quality checks for all plant materials and trees shown on plans. In case of any discrepancies, please (plant symbols) show procedure over all notes and/or "plant list".
- Coordinate installation of all plant material with installation of all related irrigation, powerlines, drainage cuts and related structures. Any damage to existing improvements is the responsibility of the Contractor.
- Utility structure installation:
 - All groundlines, shrubs and flowers shall be placed in straight rows except:
 - All planting areas including seed and planting beds, shall include soil amendments per specifications, other drawings, and/or approved methods.
- The Contractor is responsible to "mature" all areas of the site, or adjacent areas, where disturbed. Turf areas disturbed shall be restored with top soil.
- The landscape contractor shall take all necessary scheduling and other precautions to avoid water, electric, or other damage to plants. A "watering schedule" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per the approved schedule. Site preparation:
 - Mulching material shall be natural shredded hardwood bark mulch, free of soil stones, sticks, debris or other foreign matter. Mulch shall be of fibrous wood nature, 2" min. - 3" max. length. A sample shall be delivered to Landscape Architect for approval at least 14-days prior to delivery to the site.
 - Plant substitutions by the landscape contractor will not be permitted unless it can be verified unequivocally that the plants are not available from survey sources located a reasonable distance from the project site. If this should happen, any proposed plant substitution will require prior review and approval by the project Landscape Architect and Owner.

IRRIGATION NOTES:

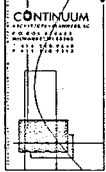
AN APPROVED PULSY AUTOMATIC NON-SPRAY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL LANDSCAPE AREAS SHOWN ON THE PLAN. THE SYSTEM SHALL MEET MINIMUM CONSERVATION STANDARDS I.E. SANITIZED PRECIPITATION INTAKE, CHECK VALVES, AND AUTOMATIC WASH SHUT OFF DEVICE.

LANDSCAPE LEGEND

- LIST OF LANDSCAPE
- PROPOSED SHADE TREE
 - PROPOSED EVERGREEN TREE
 - PROPOSED ORNAMENTAL TREE
 - PROPOSED DECIDUOUS SHRUB
 - PROPOSED EVERGREEN SHRUB
 - PROPOSED ORNAMENTAL GRASS
 - PROPOSED ALUMINUM EDGER
 - PROPOSED PERENNIALS
 - PROPOSED NO MOW SEED MIX
 - PROPOSED BIONIFILTRATION SWALE MIX

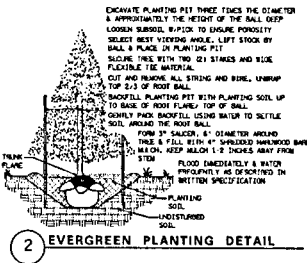
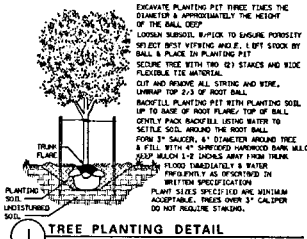
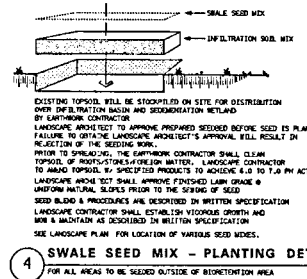
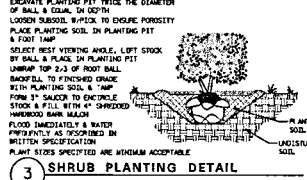
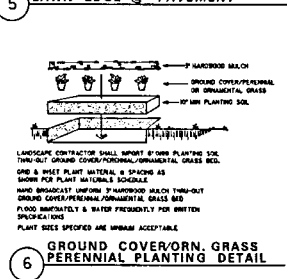
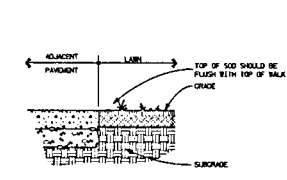
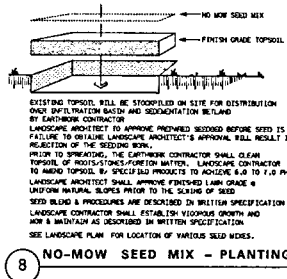
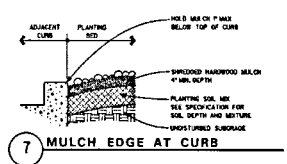


PROPOSED STREET TREE SPECIES TO MATCH CITY OF MANASSAS STREET TREE MASTER PLAN



NO.	DATE	REVISIONS

**BISHOP'S CREEK HOUSING
PLANTING PLAN & DETAILS**



IN ACCORDANCE WITH MICHIGAN STATE UNIVERSITY (MSU) CHANGE OF PROVISIONS FROM THE PROPOSED BIDDING DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT, INCLUDING BUT NOT LIMITED TO, THE CITY OF MANASSAS, THE STATE OF VIRGINIA, AND ANY OTHER AGENCIES OF THE STATE.

