

From: Beggs, Tauren R - DNR
Sent: Tuesday, May 23, 2023 3:48 PM
To: Henderson, Dave (Dave.Henderson@aecom.com)
Cc: Carey, Angela J - DNR; GravelPit (GravelPit@manitowoc.org)
Subject: Revisions Needed for Remedial Action Documentation Report, Manitowoc City / Former Newton Tn Gravel Pit, BRRTS # 02-36-000268
Attachments: Figure 2.pdf; Deed_Restriction_Template.pdf; Site_Specific_Example.pdf

Hi Dave,

DNR has reviewed the Remedial Action Documentation Report (RADR). Revisions are needed to the cap maintenance plan and deed restriction before the DNR issues the approval letter for the RADR.

Revisions needed for the cap maintenance plan:

- Use 2023 date throughout cap maintenance plan instead of 2018 date.
- Use official BRRTS activity name Manitowoc City / Former Newton Tn Gravel Pit.
- Use D.1, D.2., D.3., and D.4 naming throughout cap maintenance plan in order to be consistent with the current template language:
<https://dnr.wisconsin.gov/topic/Brownfields/Professionals.html>, *Maintenance Plan Template for a Straightforward Site (RR-980)*
- Add emails in contact information.
- Have Dan Koski sign the cap maintenance plan.

Revisions needed for the deed restriction:

- Standard format requirements for recorded documents are defined by [Wis. Stats. 59.43 \(2m\) and \(5\)](#).
- Will need to revise the City attorney language in Section 1., possibly the signature block, and the footnote that the document was drafted by Kathleen McDaniel since she is no longer with the City.
- The BRRTS name Manitowoc City / Former Newton Tn Gravel Pit and BRRTS # 02-36-000268 needs to be added.
- Add in Section 2.: to refer to the Bureau for Remediation & Redevelopment Tracking System (BRRTS) on the Web for remedial action documentation and continuing obligations. Remove "The continuing obligations based on the approval of the Revised RAOR for the Property are:" language and the bullets from the deed restriction.
- Add Figure 2 Site Features (attached to this email) as another Exhibit to the deed restriction, which shows the aerial, cap location, and site features.
- Add a description of the purpose of the deed restriction (requirements defined in [40 CFR 761.61](#)):
 - Under CFR 761.61(a)(8)(i)(A), the purpose is to notify any potential purchaser of the property: (1) That the land has been used for PCB remediation waste disposal and is restricted to use as a low occupancy area as defined in 40 CFR 761.3, (2) Of the existence of a cap as defined in 40 CFR 761.61(a)(7) and requirements to maintain the cap, and (3) That contamination meeting and exceeding applicable clean-up levels in 40 CFR 761.61(a)(4)(B)(3) remains at the site and/or under the direct contact cover system.
 - Submit a certification, signed by the owner, that he/she has recorded the notation specified in paragraph (a)(8)(i)(A) of this section to the EPA Regional Administrator.

- Boiler plate language that states that:
 - The cover system/cap must be maintained,
 - Certain activities related to the cap are prohibited ((1) Removing the existing barrier or cover; (2) Replacing with another barrier; (3) Excavating or grading of the land surface; (4) Filling on covered or paved areas; (5) Plowing for agricultural cultivation; (6) Constructing or placing a building or other structure in an area where a soil cover or other barrier is required; and (7) Changing the use or occupancy of the property to a residential exposure setting, which may include certain uses, such as a single or multiple family residences, a school, day care, senior center, hospital, or similar residential exposure setting.).
 - Restrictions can be removed if DNR and US EPA determine that the risk no longer exists, or additional actions are taken (761.61(a)(8)(ii)).

An example deed restriction template is attached. There is also an example of a deed restriction for a specific site attached for reference; **however, certain details in that deed restriction and including the cap maintenance plan would not be appropriate for this deed restriction.**

I am working with Angela Carey on the deed restriction. Angela and I can have a call to go through any details with you to finalize the deed restriction after you have had a chance to review this email.

If you have any questions, please let me know.

Regards,

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

Tauren R. Beggs

Hydrogeologist & Northeast Region Land Recycling Expert

Remediation and Redevelopment Program

Wisconsin Department of Natural Resources

2984 Shawano Ave

Green Bay, WI 54313

Phone: (920) 510-3472





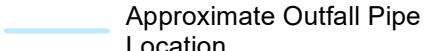
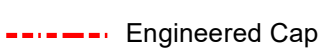
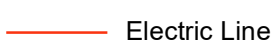


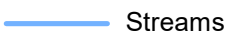
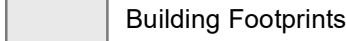
Tauren.Beggs@wisconsin.gov (preferred contact method during work at home)

dnr.wi.gov

FIGURE 2 SITE FEATURES

Former Newton Gravel Pit
Manitowoc, Wisconsin

Legend

-  Monitoring Well(s)
-  Staff Gauge
-  Gravel Pit Roads
-  Approximate Pond Location
-  Approximate Outfall Pipe Location
-  Engineered Cap
-  Electric Line
-  Civil Divisions
-  Parcels
-  Streams
-  Building Footprints

1 inch = 250 feet

AECOM

1555 N. RiverCenter Drive, Suite 214
Milwaukee, WI 53212
PH: 414-944-6080
www.aecom.com

APPROVED BY: DH

DATE: 10/22/2021

Project No.: 60135471



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Document Number

DEED RESTRICTION

Declaration of Restrictions

In Re: [Insert legal description of the property as it appears on the most recent deed, and Wisconsin Transverse Mercator coordinates]

Recording Area

Name and Return Address

STATE OF WISCONSIN)

) ss

COUNTY OF _____) [County where document is signed]

WHEREAS, _____ is the owner of the above-described property.

Parcel Identification Number

WHEREAS, one or more [type of contaminant(s)] discharges have occurred on this property, and as of [Insert sample collection date or dates] when soil samples were collected on this property, [Type of contaminant(s)]-contaminated soil remained on this property at the following location: [description of location or locations on the property where contamination was, or may have been, left in place; reference and attach a sketch or map]

WHEREAS, it is the desire and intention of the property owner to impose on the property restrictions which will make it unnecessary to conduct further soil remediation activities on the property at the present time.

NOW THEREFORE, the owner hereby declares that all of the property described above is held and shall be held, conveyed or encumbered, leased, rented, used, occupied and improved subject to the following limitation and restrictions:

[OPTION 1, where structural impediments make a complete investigation or cleanup of soil contamination impracticable]:

Structural impediments existing at the time of clean-up, [insert description of the impediments], made complete [choose the correct wording: investigation and/or remediation] of the soil contamination on this property impracticable. If the structural impediments on this property that are described above are removed, the property owner shall conduct an investigation of the

contact with residual soil contamination that might otherwise pose a threat to human health. If soil that remains on the property in the location or locations described above where there is residual contamination is excavated in the future, the soil must be sampled and analyzed, may be considered solid or hazardous waste if residual contamination remains and must be stored, treated and disposed in compliance with applicable statutes and rules.

[Option B for Paragraph 1: Impervious Barrier Required]

The pavement or other impervious cap that existed on the above-described property in the location shown on the attached map, labeled Exhibit __ **[Insert reference to attached exhibit]** on the date that this restriction was signed shall be maintained in compliance with the **[Insert title of the approved maintenance plan]** dated **[Insert date]** that was submitted to the Wisconsin Department of Natural Resources by **[Insert name of the responsible party or the responsible party's consultant]**, as required by section NR 724.13 (2), Wis. Adm. Code (October 1999). This pavement or other impervious cap must be maintained in order to minimize the infiltration of water and prevent additional groundwater contamination that would violate the groundwater quality standards in ch. NR 140, Wis. Adm. Code, and to prevent direct contact with residual soil contamination that might otherwise pose a threat to human health. If soil that remains on the property in the location or locations described above where there is residual contamination is excavated in the future, the soil must be sampled and analyzed, may be considered solid or hazardous waste if residual contamination remains and must be stored, treated and disposed in compliance with applicable statutes and rules.

[Option C for Paragraph 1: Engineered Cap Required]

The **[Insert description of required engineered cap]** that existed on the above-described property on the date that this restriction was signed forms a barrier that must be maintained in order to minimize the infiltration of water and prevent additional groundwater contamination that would violate the groundwater quality standards in ch. NR 140, Wis. Adm. Code, and to prevent direct contact with residual soil contamination that might otherwise pose a threat to human health. The required cap shall be maintained on the above-described property in the locations shown on the attached map, labeled "**[Insert reference to attached exhibit]**" unless another barrier that **[option 1: reduces infiltration to the greatest extent practicable]** **[option 2: provides an infiltration rate equivalent to the landfill cap design requirements in s. NR 504.07, Wis. Adm. Code (March 2003)]** **[Note: options 1 and 2 may be combined]** is installed and maintained in its place. The existing cap, and any replacement barrier, shall be maintained on the above-described property in compliance with the "**[Insert title of the approved maintenance plan]**" dated **[Insert date]**, that was submitted to the Wisconsin Department of Natural Resources by **[Insert name of the responsible parties]**, as required by section NR 724.13 (2), Wis. Adm. Code (October 1999). If soil that remains on the property in the location or locations described above where there is residual contamination is excavated in

Signature: _____
Printed Name: _____

Subscribed and sworn to before me
this _____ day of _____, 20__.

Notary Public, State of _____
My commission _____

This document was drafted by _____ based
on a model deed restriction provided by the Wisconsin Department of Natural
Resources.

must be maintained in order to prevent direct contact with residual soil contamination that might otherwise pose a threat to human health. If soil that remains on the property in the location or locations described above where there is residual contamination is excavated in the future, the soil must be sampled and analyzed; may be considered solid or hazardous waste if residual contamination remains; and must be stored, treated, and disposed in compliance with applicable statutes and rules.

In addition, the following activities are prohibited on any portion of the above-described property where a cover system is required, as shown on **EXHIBIT C**, unless prior written approval has been obtained from the WDNR or its successor or assign: (1) Removing the existing barrier or cover; (2) Replacing with another barrier; (3) Excavating or grading of the land surface; (4) Filling on covered or paved areas; (5) Plowing for agricultural cultivation; (6) Constructing or placing a building or other structure in an area where a soil cover or other barrier is required; and (7) Changing the use or occupancy of the property to a residential exposure setting, which may include certain uses, such as a single or multiple family residences, a school, day care, senior center, hospital, or similar residential exposure setting.

All properties with residual contamination must obtain WDNR approval prior to construction or reconstruction of a water supply well, in compliance with Wis. Adm. Code s. NR 812.09(4)(w).

This restriction is hereby declared to be a covenant running with the land and shall be fully binding upon all persons acquiring the above-described property whether by descent, devise, purchase, or otherwise. This restriction inures to the benefit of and is enforceable by the WDNR, its successors, or assigns. The WDNR, its successors, or assigns may initiate proceedings at law or in equity against any person or persons who violate or are proposing to violate this covenant, to prevent the proposed violation or to recover damages for such violation.

Any person who is or becomes owner of the property described above may request that the WDNR or its successor issue a determination that one or more of the restrictions set forth in this covenant are no longer required. Upon the receipt of such a request, the WDNR shall determine whether or not the restrictions contained herein can be extinguished. If the WDNR determines that the restrictions can be extinguished, an affidavit, attached to a copy of the WDNR's written determination, may be recorded by the property owner or other interested party to give notice that this deed restriction, or portions of this deed restriction, are no longer binding.

This deed restriction is also made under Federal Law, CFR 761.61(a)(8)(i)(A) to notify any potential purchaser of the property:

1. That the land has been used for PCB remediation waste disposal and is restricted to use as a low occupancy area as defined in 40 CFR § 761.3.

2. Of the existence of a cap and requirements to maintain the cap.
3. That contamination meeting and exceeding applicable clean-up levels remains at the site, and/or under the direct-contact cover system. See EXHIBIT C.

By signing this document, Kollin Schade asserts that he is duly authorized to sign this document on behalf of the Superior Refining Company LLC.

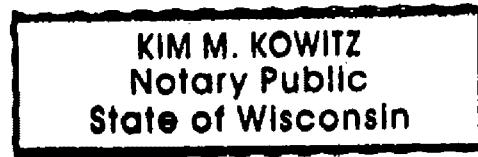
IN WITNESS WHEREOF, the owner of the property has executed this Declaration of Restrictions, this 4 day of Sept, 2018.

Superior Refining Company LLC
By: Kollin Schade
Printed Name: Kollin Schade
Title: Refinery Manager

Subscribed and sworn to before me this 4 day of Sept, 2018.

Kim M. Kowitz

Notary Public, State of Wisconsin
My commission expires 9/18/20



This document was drafted by Gannett Fleming, Inc., based on a model deed restriction provided by the WDNR. Clifford Wright

EXHIBIT A

LEGAL DESCRIPTION FOR PIN RH 9328-1101

A parcel of land being a part of the SW 1/4 of the SW 1/4, Section 28, Township 37 North, Range 9 East, described as follows: Commencing at the Southwest corner of Section 28; thence N. 5°45'32" E. along the West line of Section 28 a distance of 275.61 feet to an iron pipe and the place of beginning of the parcel to be described; thence continue N. 5°45'32" E. along the West line of said Section 28 a distance of 281.94 feet to an iron pipe marking the intersection with the Southerly right of way line of the Minneapolis, St. Paul and Sault Ste. Marie Railroad, thence Easterly and Northerly along said right of way line to an iron pipe marking its intersection with the East line of the SW 1/4 SW 1/4, thence S. 4°43'32" W. along the East line of the SW 1/4 SW 1/4 a distance of 822.37 feet to an iron pipe on the Northerly right of way line of the Town Road; thence N. 80°29'28" W. along the Northerly boundary of the Town Road a distance of 641.44 feet to an iron pipe; thence N. 9°30'32" E. a distance of 200.0 feet to an iron pipe; thence N. 80°29'28" W. a distance of 300.0 feet to an iron pipe; thence S. 9°30'32" W. a distance of 200.0 feet to an iron pipe in the Northerly right of way line of the Town Road; thence N. 80°29'28" W. along said right of way line a distance of 496.83 feet to an iron pipe on the West line of the SW 1/4 SW 1/4 and the place of beginning. Except that part conveyed in Vol. 316 of Deeds, page 111, Document No. 230746 and except that part conveyed in Vol. 375 of Records, page 407, Document No. 270541.

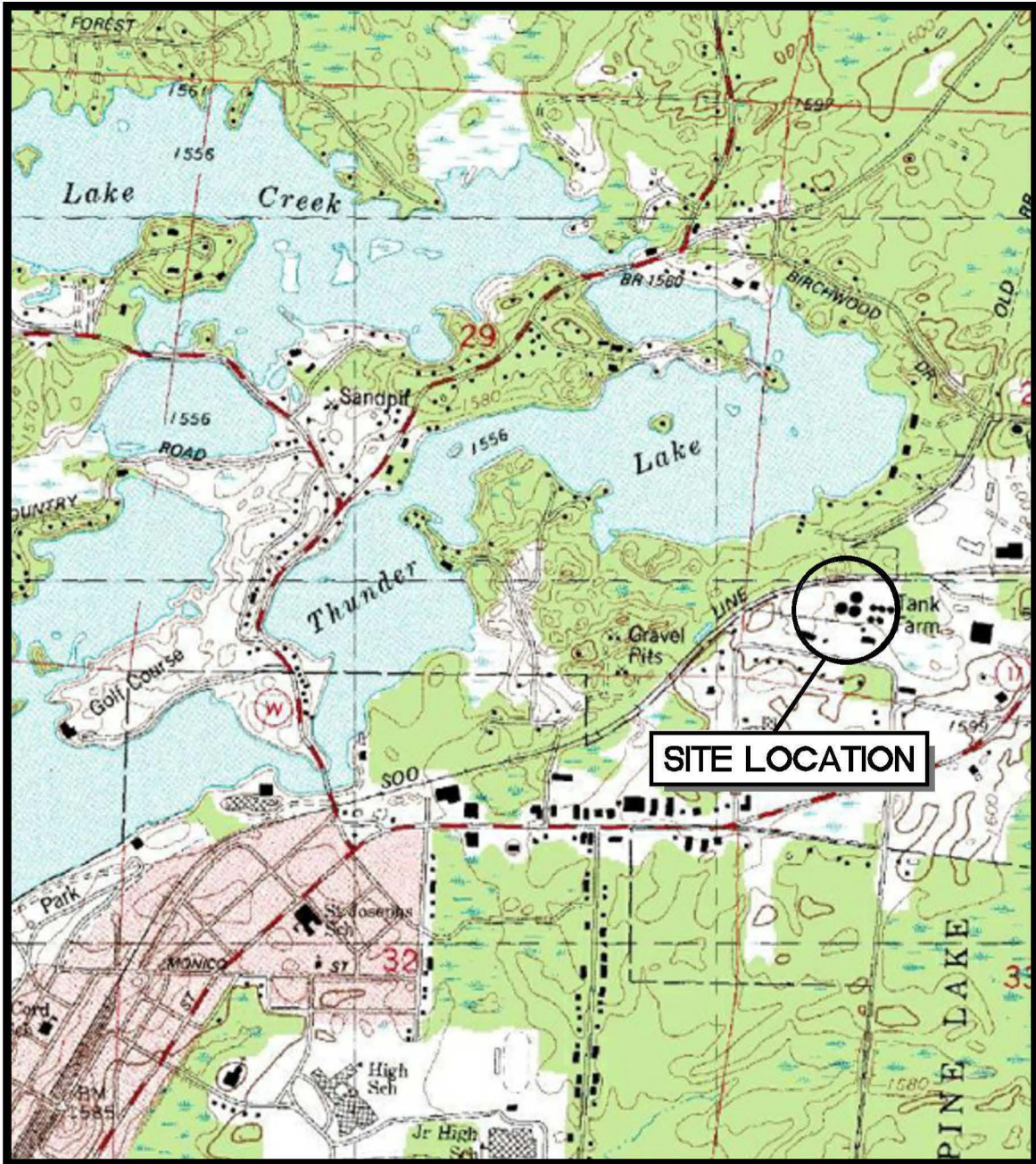
Oneida County, Wisconsin.

EXHIBIT B

MAPS/SKETCHES

Figure 1: Location Map

Figure B.2.b: Residual Soil Contamination (May 2017)



SCALE: 1 INCH ~ 0.25 MILE

7.5 MIN TOPOGRAPHIC MAP
RHINELANDER, WISCONSIN
1982

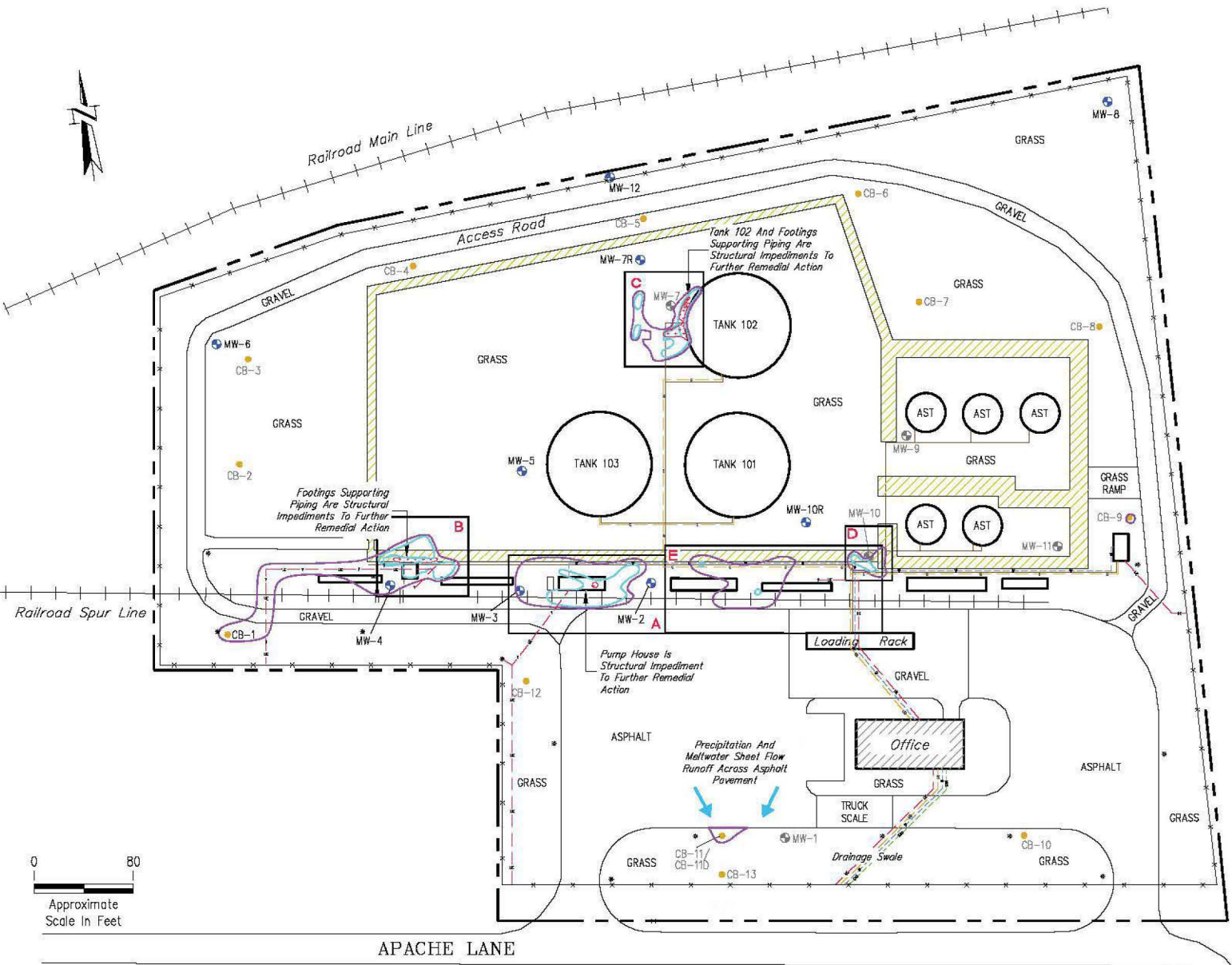


NOTE:

Parcel ID: RH 9328-1101



LOCATION MAP
 RHINELANDER ASPHALT TERMINAL
 CALUMET SUPERIOR, LLC
 1965 APACHE LANE
 RHINELANDER, WISCONSIN



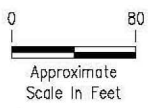
LEGEND

- ESTIMATED EXTENT OF SOIL CONTAINING PCBs > 20 PPM (2017)
- ESTIMATED EXTENT OF SOIL WITH ONE OR MORE PCBs AT OR ABOVE AN NR 720 INDUSTRIAL DIRECT CONTACT RCL (2017)
- ESTIMATED EXTENT OF SOIL WITH ONE OR MORE PCBs AT OR ABOVE AN NR 720 SOIL TO GROUNDWATER PATHWAY RCL (2017)
- CLOSURE ASSESSMENT SOIL BORING (DEC. 2016)
- MONITORING WELL
- PIPING
- STRUCTURE
- BERM
- FENCE
- AREA OF OPERATION
- UNDERGROUND ELECTRIC LINE
- ABOVEGROUND GAS LINE
- UNDERGROUND GAS LINE
- UNDERGROUND WATER LINE
- SANITARY SEWER
- LIGHT POLE

- A** CORRESPONDING INSET MAP SHOWS DETAIL
- A** MW-2/PUMP HOUSE AREA SEE FIG. B.2.b.1
 - B** MW-4/FORMER ASPHALT PIT AREA SEE FIG. B.2.b.2
 - C** MW-7/TANK 102 AREA SEE FIG. B.2.b.3
 - D** MW-10 AREA SEE FIG. B.2.b.4
 - E** PUMP/LOADING AREA SEE FIG. B.2.b.5

NOTES

1. PARCEL ID: RH 9328-1101.
2. THIS FIGURE IS BASED ON A DRAWING FROM THE ATEC REPORT DATED JULY 6, 1992 AND A 2016 GOOGLE EARTH AERIAL PHOTO.
3. PIPING AND UTILITY LOCATIONS ARE APPROXIMATE AND NOT ALL PIPING AND UTILITIES ARE SHOWN.
4. SHADED MONITORING WELLS HAVE BEEN ABANDONED.
5. KNOWN PCB SOURCES/DISCHARGE POINTS ON SITE INCLUDE THE RELEASE OF HEAT TRANSFER FLUID, PRIMARILY IN THE EARLY TO MID-1970S, FROM ABOVE GRADE ALUMINUM PIPING.



**RESIDUAL
SOIL CONTAMINATION
(MAY 2017)**
RHINELANDER ASPHALT TERMINAL
CALUMET SUPERIOR, LLC
1965 APACHE LANE
RHINELANDER, WISCONSIN

EXHIBIT C

MAINTENANCE PLAN

Figure D.2: Location Map

Continuing Obligations Inspection and Maintenance Log

COVER MAINTENANCE PLAN

Date: August 30, 2018

Property Located at: 1965 Apache Lane, Rhinelander, Wisconsin, Oneida County

BRRTS #02-44-000513

Parcel ID# RH 9328-1101

Introduction

This document is the Maintenance Plan for a direct-contact cover system/cap addressing residual soil contamination at the above-referenced property in accordance with the requirements of s. NR 724.13(2), Wis. Adm. Code. The maintenance activities described relate to existing conditions, per Wisconsin Department of Natural Resources (WDNR) guidance. More site-specific information may be found in:

- The case file in the WDNR Rhinelander regional office.
- BRRTS on the Web (the WDNR's online database of contaminated sites).
- The GIS Registry PDF file (includes information on the nature and extent of contamination).
- The WDNR project manager for Oneida County.

Description of Residual Contamination

Residual contaminated subsurface soil onsite in limited areas is impacted by polychlorinated biphenyls (PCBs). The estimated extent of soil with one or more PCBs at or above an NR 720 industrial direct contact Residual Contaminant Level (RCL) and perimeter of the area where the cover system, fence, and "PCB-Impacted Soil" warning signs are to be maintained in accordance with this Maintenance Plan are shown on Figure D.2 (Exhibit C).

Description of the Cover to be Maintained

Cover system components include vegetated soil, current building/tank/structure foundations, and a gravel drive near the loading rack. The existing vegetated soil cover currently maintains a well-established crop of grass with no erosion and is mowed on a routine basis during the growing season. In addition, "PCB-Impacted Soil" signs will be posted on the perimeter fence as shown on Figure D.2.

Cover Purpose

The direct-contact cover system/cap serves as a barrier to prevent direct human contact with residual soil contamination that might otherwise pose a threat to human health. Based on the current and future land use of the property, the cap should function as intended unless disturbed.

COVER MAINTENANCE PLAN

Annual Inspection and Maintenance Activities

The direct-contact cover system (i.e., vegetated soil, building/tank/structure foundations, and gravel drive), perimeter fence, and "PCB-Impacted Soil" signs at the subject property will be inspected once a year, normally in the spring after all snow and ice are gone, for erosion, settling, vegetative damage, cracking, and other potential problems that can cause exposure to underlying impacted soils. Any area of erosion, settling, vegetative damage, cracking, etc. and the condition of the perimeter fence and "PCB-Impacted Soil" signs will be documented. A log of the inspections and all repairs will be maintained by the property owner(s). A Continuing Obligations Inspection and Maintenance Log is attached (Exhibit C). The inspection logs will be kept at the site and available for submittal or inspection by representatives of the WDNR or its successor upon their request.

If problems are noted during the annual inspections or at any other time during the year, repairs will be scheduled as soon as practical. If necessary maintenance activities expose the underlying soil, the owner must inform maintenance workers of the direct-contact exposure hazard and provide them with appropriate personal protection equipment. The owner must also sample any soil that is excavated from the site prior to disposal to ascertain if it is contaminated. The soil must be treated, stored, and disposed of by the owner in accordance with applicable local, state, and federal law.

In the event any portion of the direct-contact cover system is to be removed or replaced, the replacement cover system/barrier must provide at least equal direct-contact protection to the underlying contaminated soil. In addition, written approval from the WDNR is required prior to conducting any activity that could change the condition of or disturb one or more of the cover system components. Any replacement cover system/barrier will be subject to the same maintenance and inspection guidelines as outlined in this Maintenance Plan, unless indicated otherwise by the WDNR or its successor.

Prohibited Activities and WDNR Notification Requirements

The following activities, outside of those required for cap maintenance, are prohibited on the property within the area of the cover system/cap unless prior written approval has been obtained from the WDNR or its successor:

1. Removing or replacing the cap with another barrier. Any replacement cap would be subject to the same guidelines as outlined in this Maintenance Plan, unless indicated otherwise by the WDNR or its successor.
2. Excavating or grading of the land surface.
3. Filling on covered or paved areas.
4. Plowing for agricultural cultivation.

COVER MAINTENANCE PLAN

5. Constructing or placing a building or other structure in an area where a soil cover or other barrier is required.
6. Changing the facility from its current industrial, low-occupancy use condition to a commercial or residential exposure setting, including single or multiple family residence, a school, day care, senior center, hospital, or similar commercial or residential exposure setting.

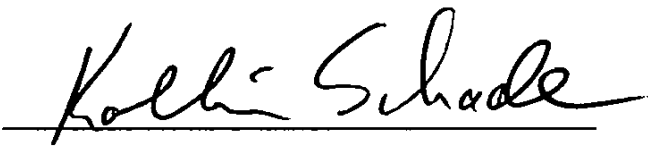
The property owner will a) notify the WDNR if any pertinent problem occurs for two or more successive inspections, b) maintain a copy of this Maintenance Plan, c) make it available to all interested parties (i.e., on-site employees, contractors, future building owners, etc.) for viewing upon request, and d) keep this Maintenance Plan up to date and revised as necessary, per NR 724.13(4).

Amendment or Withdrawal of the Maintenance Plan

This Maintenance Plan may be amended or withdrawn by the property owner and its successors with the written approval of the WDNR or its successor.

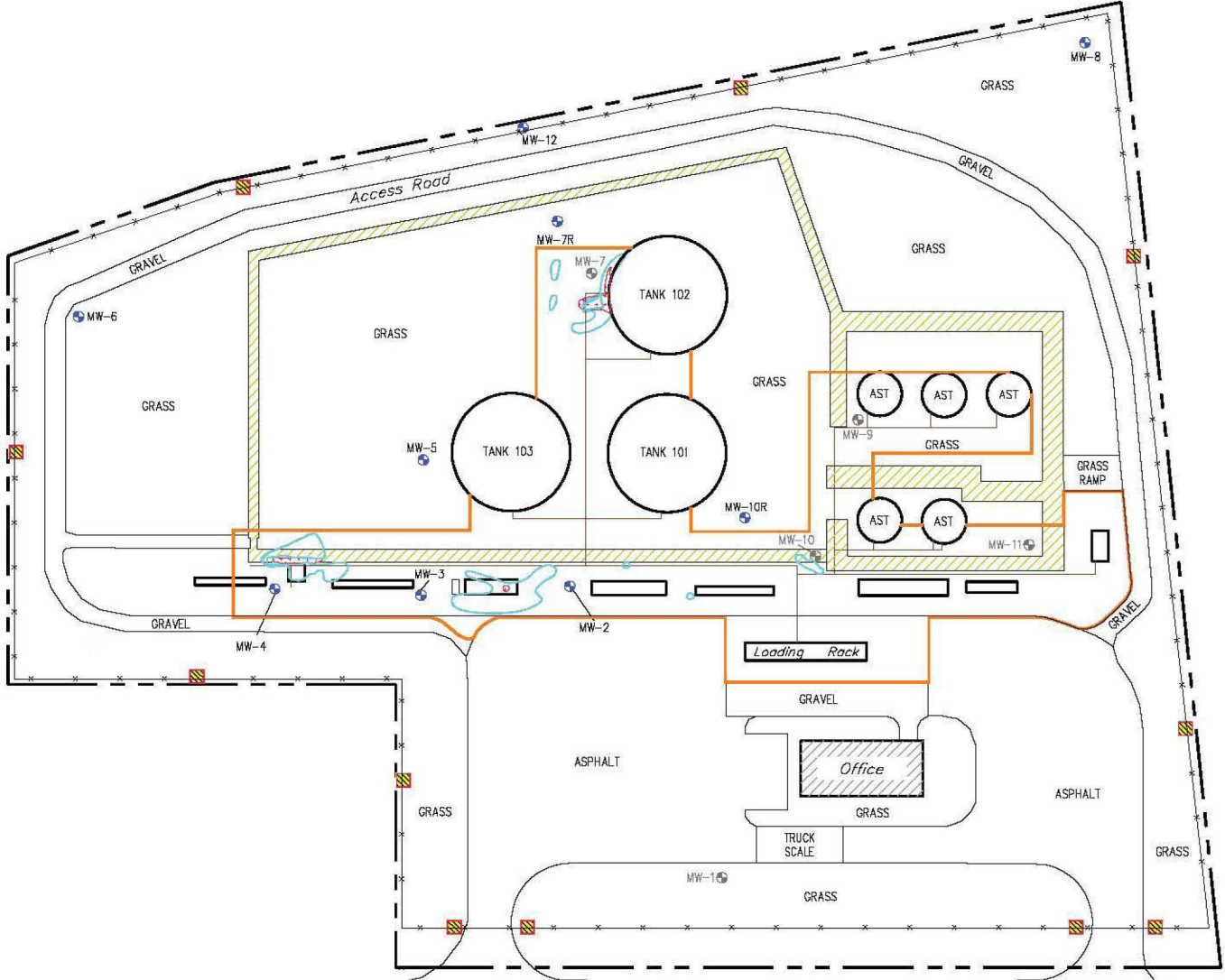
Contact Information

Property owner:
Kollin Schade, VP
Superior Refining Company LLC
2407 Stinson Avenue, Superior, WI 54880
(715) 398-8453

Signature: 
Kollin Schade, VP

Consultant:
Cliff Wright
Gannett Fleming, Inc.
8025 Excelsior Drive, Madison, WI 53717-1900
(608) 836-1500 ext. 6722

WDNR Project manager:
John Sager
WDNR Service Center, 1701 North 4th Street, Superior, WI 54880
(715) 392-7822

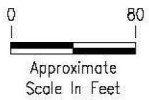


LEGEND

- PERIMETER OF THE DIRECT CONTACT COVER SYSTEM
- PCB-IMPACTED SOIL SIGN
- AREA OF SOIL CONTAINING PCBs > 20 ppm POST OCTOBER 2015 EXCAVATION
- ESTIMATED EXTENT OF SOIL WITH ONE OR MORE PCBs AT OR ABOVE AN NR 720 INDUSTRIAL DIRECT CONTACT RCL (2017)
- PIPING
- STRUCTURE
- FENCE
- AREA OF OPERATION
- MONITORING WELL
- BERM

NOTES

1. PARCEL ID: RH 9328-1101
2. PIPING LOCATIONS ARE APPROXIMATE AND NOT ALL PIPING IS SHOWN.
3. SHADED MONITORING WELLS HAVE BEEN ABANDONED.
4. THIS FIGURE IS BASED ON A DRAWING FROM AN ATEC REPORT DATED JULY 6, 1992 AND A 2016 GOOGLE EARTH AERIAL PHOTO.



APACHE LANE

LOCATION MAP
 RHINELANDER ASPHALT TERMINAL
 CALUMET SUPERIOR, LLC
 1965 APACHE LANE
 RHINELANDER, WISCONSIN

Directions: In accordance with s. NR 727.05 (1) (b) 3., Wis. Adm. Code, use of this form for documenting the inspections and maintenance of certain continuing obligations is required. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Open Records law [ss. 19.31-19.39, Wis. Stats.]. When using this form, identify the condition that is being inspected. See the closure approval letter for this site for requirements regarding the submittal of this form to the Department of Natural Resources. A copy of this inspection log is required to be maintained either on the property, or at a location specified in the closure approval letter. Do NOT delete previous inspection results. This form was developed to provide a continuous history of site inspection results. The Department of Natural Resources project manager is identified in the closure letter. The project manager may also be identified from the database, BRRTS on the Web, at <http://dnr.wi.gov/botw/SetUpBasicSearchForm.do>, by searching for the site using the BRRTS ID number, and then looking in the "Who" section.

Activity (Site) Name Calumet Superior LLC Rhinelander Asphalt Ter	BRRTS No. 02-44-000513
---	----------------------------------

Inspections are required to be conducted (see closure approval letter):

annually
 semi-annually
 other – specify _____

When submittal of this form is required, submit the form electronically to the DNR project manager. An electronic version of this filled out form, or a scanned version may be sent to the following email address (see closure approval letter):

Inspection Date	Inspector Name	Item	Describe the condition of the item that is being inspected	Recommendations for repair or maintenance	Previous recommendations implemented?	Photographs taken and attached?
		<input type="checkbox"/> monitoring well <input checked="" type="checkbox"/> cover/barrier <input type="checkbox"/> vapor mitigation system <input checked="" type="checkbox"/> other: perimeter fence and warning signs			○ Y ○ N	○ Y ○ N
		<input type="checkbox"/> monitoring well <input type="checkbox"/> cover/barrier <input type="checkbox"/> vapor mitigation system <input type="checkbox"/> other:			○ Y ○ N	○ Y ○ N
		<input type="checkbox"/> monitoring well <input type="checkbox"/> cover/barrier <input type="checkbox"/> vapor mitigation system <input type="checkbox"/> other:			○ Y ○ N	○ Y ○ N
		<input type="checkbox"/> monitoring well <input type="checkbox"/> cover/barrier <input type="checkbox"/> vapor mitigation system <input type="checkbox"/> other:			○ Y ○ N	○ Y ○ N
		<input type="checkbox"/> monitoring well <input type="checkbox"/> cover/barrier <input type="checkbox"/> vapor mitigation system <input type="checkbox"/> other:			○ Y ○ N	○ Y ○ N
		<input type="checkbox"/> monitoring well <input type="checkbox"/> cover/barrier <input type="checkbox"/> vapor mitigation system <input type="checkbox"/> other:			○ Y ○ N	○ Y ○ N

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