

April 14, 2014

Mr. Trevor Bannister, Hydrogeologist  
Wisconsin Dept. of Agriculture, Trade and Consumer Protection  
2811 Agriculture Drive  
P.O. Box 8911  
Madison, WI 53708-8911

Mr. Mark Drews, Hydrogeologist  
Wisconsin Dept. of Natural Resources  
141 NW Barstow Street, Room 180  
Waukesha, WI 53188

**RE: Soil Management Plan  
Former Cooperative Plus Fertilizer Plant  
311 W Centralia Street, Elkhorn, Wisconsin  
WDNR BRRTS# 02-65-547256 FID #265114630**

Dear Sirs;

Kapur and Associates, Inc. (Kapur), on behalf of Great Lakes Components, LLC has completed a Soil Management Plan (SMP) for the Former Cooperative Plus Fertilizer Plant (Coop) site, parcel numbers YU SW 00046C and YU SW 00046D, located in the Southwest ¼ of the Northeast ¼ of Section 1, Township 2 North, Range 16 East on the south side of Centralia Street in the City of Elkhorn, Walworth County, Wisconsin (subject site or property). The site location and aerial photograph are included as Figures 1 and 2, respectively.

The Coop property formerly operated as an agricultural chemical (fertilizers and pesticides) storage and handler. Resulting from past operations, soil and groundwater contamination was identified onsite and the property listed on Emergency Repair Program (ERP) database. The contamination was investigated and remediated to the extent practical under the guidance of the Wisconsin Dept. of Agriculture, Trade and Consumer Protection (DATCP) and subsequently closed on November 10, 2011. Though no further investigative activities were required at the time of closure, the site was listed on the Wisconsin Dept. of Natural Resources (WDNR) Geographic Information System Registry (GIS) as residual soil contamination and impacted groundwater remained onsite.

The Coop site is now in the final approval stages of proposed redevelopment and part of the development / grading plans involves construction of a drainage swale, via relocation of excavated site soils, and re-grading of the existing surface. As planned construction activities may encounter residual contaminated soils the following precautions and soil handling methods will be implemented:

- All soil excavated from within the Coop property boundaries will be relocated onto the adjoining property to the east (former Getzen Co., Inc. site WDNR BRRTS #02-65-001070 an open ERP site) along the northern property line creating a landscaped berm (see Sheet C103). The relocated soil berm is part of an agreement between the City of Elkhorn who currently owns the Former Getzen Co. property and Great Lakes Components, LLC with communication with the WDNR (awaiting final approval).
- Confirmation sampling and laboratory testing for ammonia, nitrate/nitrite, total nitrogen and total pesticides of the materials to be excavated and bermed will be completed to document contaminant concentrations of the soils being relocated.
- Closure sampling and laboratory testing for ammonia, nitrate/nitrite, total nitrogen and total pesticides following site excavation activities will be performed to attain additional data of the extent and concentrations of residual soil remaining onsite.
- The final site layout of the Coop site will include a main distribution facility, maintenance building, lumber storage, concrete drive and parking, and green space. All buildings are proposed slab-on-grade construction (see Sheet C102). An exterior concrete / asphalt storage pad is also proposed to be constructed on the Getzen property at 211 W. Centralia Street (adjacent to the east).
- Erosion control means will be implemented around the worksite as needed

We trust the included information meets your needs at this time to approve the proposed soil management plan. Should you have any questions, or require further information, please feel free to call my cell phone (414) 254-6358.

Sincerely,  
Kapur & Associates, Inc.

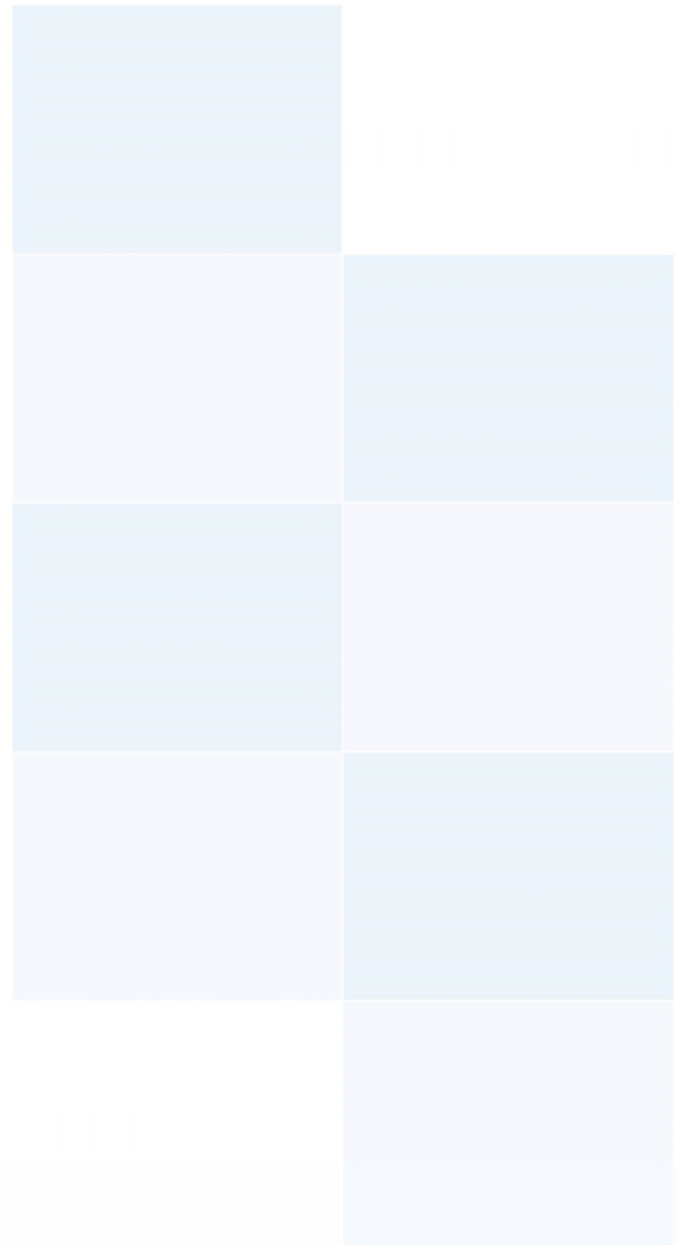


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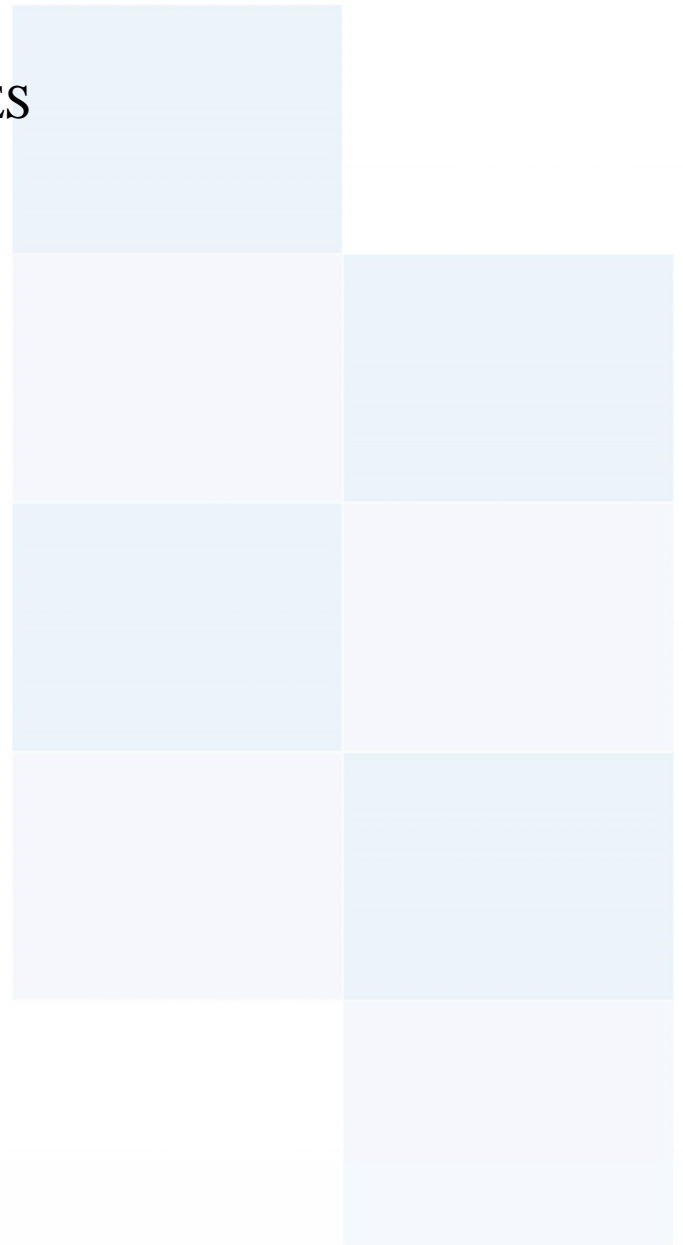
Travis W. Peterson  
Environmental Project Manager

Enc.

cc: Mr. Scott Dalberg, Great Lakes Components, LLC  
Mr. Paul VanHenkelum, Kapur & Associates, Inc.  
Mr. Sam Tapson, City of Elkhorn



## FIGURES



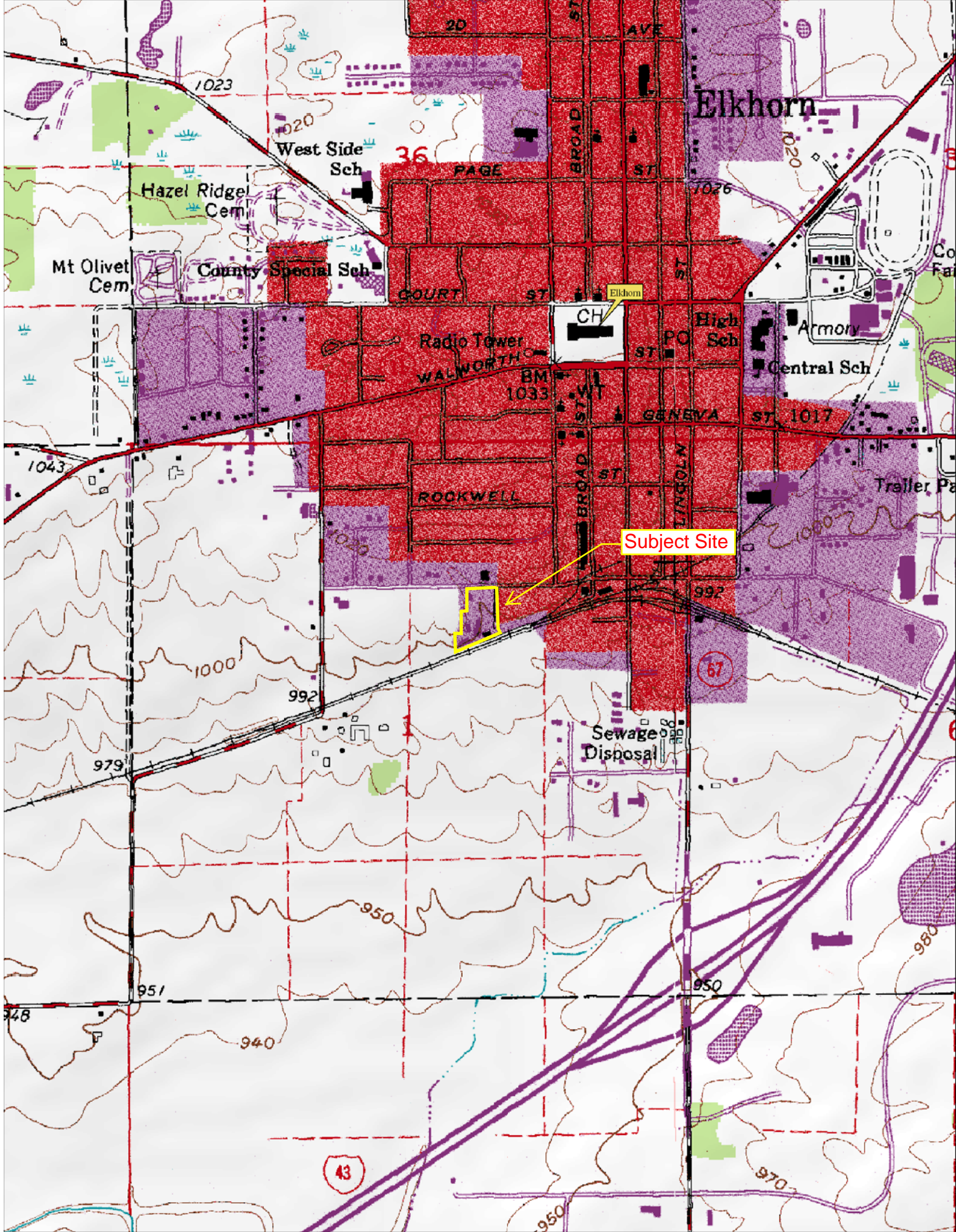


Figure 1: Site Location



Figure 2: Site Aerial Photograph

**Former Cooperative Plus**

**WALWORTH COUNTY, WISCONSIN**


1 inch = 157 feet

0 30 60 120 180 240 Feet

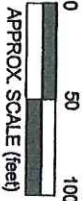
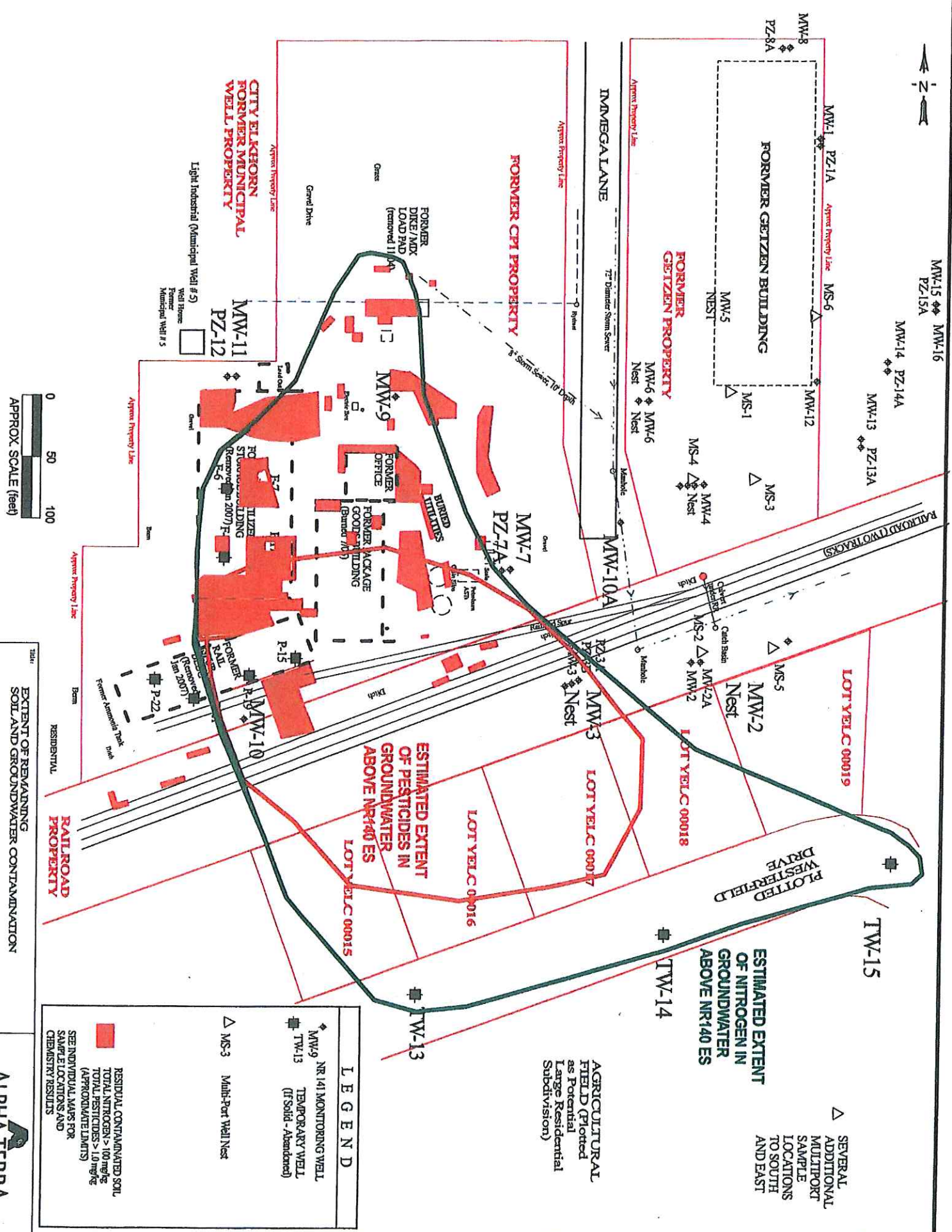
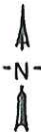
Author:  
Map Produced on: 4/15/2014  
Wisconsin State Plane Coordinate System, South Zone  
Horizontal Datum: NAD27

**Walworth County Information Technology Department  
Land Information Division**  
1800 County Trunk N.N.  
Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP WAS EITHER PRODUCED AND PUBLISHED FROM SOURCES BELIEVED TO BE RELIABLE, OR WAS OBTAINED BY THE COUNTY FROM SOURCES BELIEVED TO BE RELIABLE. NOWARRANTY IS EXPRESSED OR IMPLIED. IT IS MADE REGARDING ACCURACY AND QUALITY. COMPLETENESS, RELIABILITY OR USE OF THE INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.

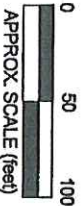
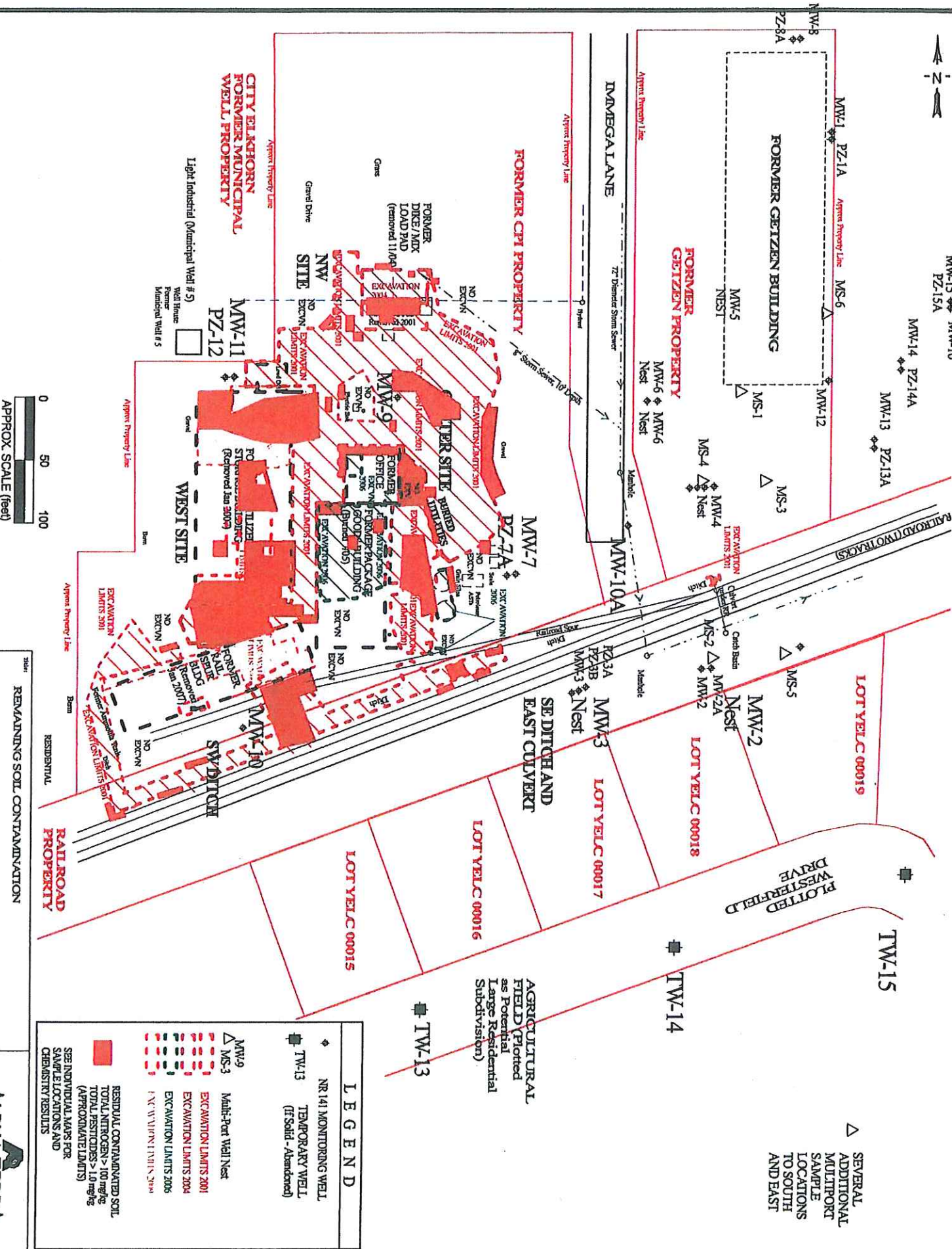
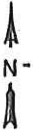
 WALWORTH COUNTY  
EST. 1839  
WISCONSIN

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TITLE: EXTENT OF REMAINING SOIL AND GROUNDWATER CONTAMINATION  
 PROJECT: AGRONOMY CENTER, CENTRALIA STREET, ELKHORN, WI  
 CLIENT: CITY OF ELKHORN, WI

LEGEND	
	MW-9 NR 141 MONITORING WELL
	TW-13 TEMPORARY WELL (If Solid - Abandoned)
	MS-3 Multi-Port WellNets
	RESIDUAL CONTAMINATED SOIL TOTAL NITROGEN > 100 mg/kg TOTAL PESTICIDES > 1.0 mg/kg (APPROXIMATE LIMITS)
	SEE INDIVIDUAL MAPS FOR SAMPLE LOCATIONS AND CHEMISTRY RESULTS



△ SEVERAL ADDITIONAL MULTIPORT SAMPLE LOCATIONS TO SOUTH AND EAST

AGRICULTURAL FIELD (plotted as Potential Large Residential Subdivision)

◆ NR 141 MONITORING WELL  
 ◆ TW-13 TEMPORARY WELL (If Solid - Abandoned)

△ MW-9 Multi-Port Well Nest  
 △ MS-3  
 EXCAVATION LIMITS 2001  
 EXCAVATION LIMITS 2004  
 EXCAVATION LIMITS 2006  
 EXCAVATION LIMITS 2008

RESIDUAL CONTAMINATED SOIL  
 TOTAL NITROGEN > 100 mg/kg  
 TOTAL PESTICIDES > 10 mg/kg  
 (APPROXIMATE LIMITS)  
 SEE INDIVIDUAL MAPS FOR SAMPLE LOCATIONS AND CHEMISTRY RESULTS

LEGEND

REMAINING SOIL CONTAMINATION

AGRONOMY CENTER, CENTRALIA STREET, ELKHORN, WI

COOPERATIVE PLUS, INC. BURLINGTON, WI

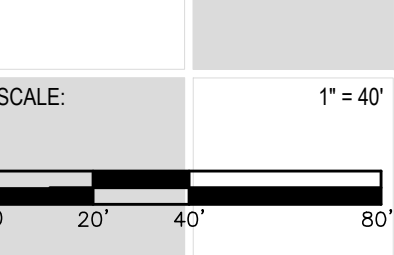
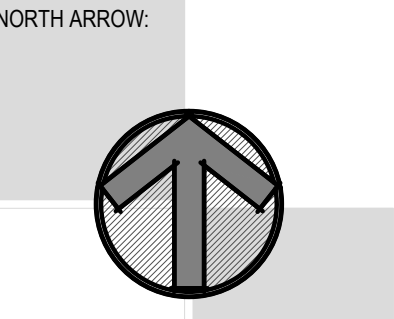
ALPHA TERRA  
 SCIENCE

Scale: 1" = 100'  
 Date: Aug 18, 2011  
 Figure: 4  
 Author: KAE



REVISIONS:

#	DATE	DESCRIPTION
1	2/26/14	Update Site/Grading Plans



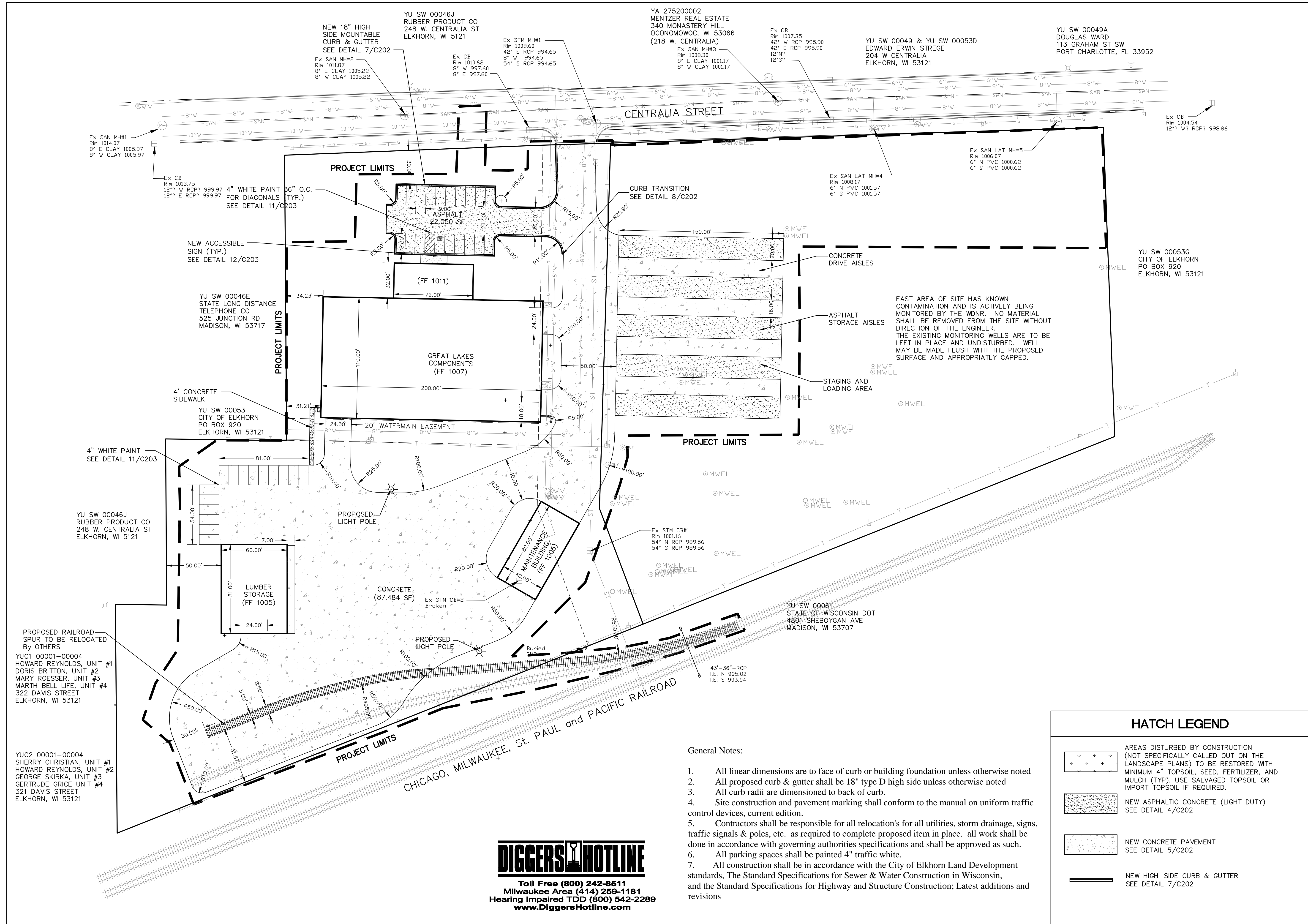
SEAL:

we listen. we innovate.  
we turn your vision into reality.

SHEET:  
**SITE PLAN**

PROJECT MANAGER: GLG  
PROJECT NUMBER: 14.0058.01  
DATE: December 16, 2013

**C102**



- General Notes:
- All linear dimensions are to face of curb or building foundation unless otherwise noted
  - All proposed curb & gutter shall be 18" type D high side unless otherwise noted
  - All curb radii are dimensioned to back of curb.
  - Site construction and pavement marking shall conform to the manual on uniform traffic control devices, current edition.
  - Contractors shall be responsible for all relocation's for all utilities, storm drainage, signs, traffic signals & poles, etc. as required to complete proposed item in place. all work shall be done in accordance with governing authorities specifications and shall be approved as such.
  - All parking spaces shall be painted 4" traffic white.
  - All construction shall be in accordance with the City of Elkhorn Land Development standards, The Standard Specifications for Sewer & Water Construction in Wisconsin, and the Standard Specifications for Highway and Structure Construction; Latest additions and revisions

**HATCH LEGEND**

	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	NEW ASPHALTIC CONCRETE (LIGHT DUTY) SEE DETAIL 4/C202
	NEW CONCRETE PAVEMENT SEE DETAIL 5/C202
	NEW HIGH-SIDE CURB & GUTTER SEE DETAIL 7/C202

**DIGGERS HOTLINE**

Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

PROJECT:  
Great Lakes Components

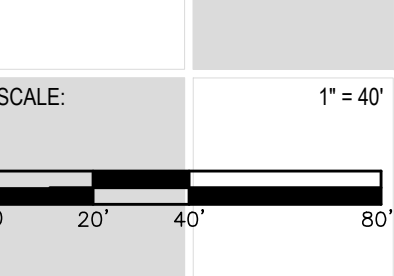
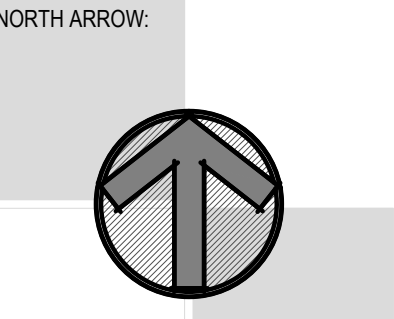
LOCATION:  
City of Elkhorn,  
Walworth County, WI

  
Great Lakes Components, LLC  
496 S. Pine St  
Burlington, WI 53105

RELEASE:  
PRELIMINARY PLAN  
-NOT FOR  
CONSTRUCTION

REVISIONS:

#	DATE	DESCRIPTION
1	2/26/14	Update Site/Grading Plans



SEAL:

we listen. we innovate.  
we turn your vision into reality.

SHEET:  
SITE GRADING & EROSION PLAN

PROJECT MANAGER: GLG  
PROJECT NUMBER: 14.0058.01  
DATE: February 26, 2014

**C103**

UTILIZE EXISTING ENTRANCE FOR TRACKING PAD. IF TRACKING BECOMES A PROBLEM MODIFY WITH STONE TO COMPLY WITH DETAIL 2/C201

TOPSOIL STOCKPILE LANDSCAPE BERM SLOPE 4:1 MAX.

BERM MATERIAL VOLUME 4886 CU-YDS

AFTER FINAL TOPSOIL PLACEMENT IS COMPLETE, EXCESS TOPSOIL SHALL REMAIN IN PLACE AND BECOME PROPERTY OF THE OWNER.

EAST AREA OF SITE HAS KNOWN CONTAMINATION AND IS ACTIVELY BEING MONITORED BY THE WDNR. NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT DIRECTION OF THE ENGINEER. THE EXISTING MONITORING WELLS ARE TO BE LEFT IN PLACE AND UNDISTURBED. WELL MAY BE MADE FLUSH WITH THE PROPOSED SURFACE AND APPROPRIATELY CAPPED.

**GRADING LEGEND**

- 1005— PROPOSED CONTOUR LINE — MAJOR
- 1002— PROPOSED CONTOUR LINE — MINOR
- - -1005- - - EXISTING CONTOUR LINE — MAJOR
- - -1008- - - EXISTING CONTOUR LINE — MINOR
- ◆ 1005.18 PROPOSED SPOT ELEVATIONS
- ◆ 1005.35± MATCH EXISTING SPOT ELEVATIONS
- ◆ T1001.50 PROPOSED TOP OF CURB ELEVATIONS
- ◆ G1001.00 PROPOSED GUTTER ELEVATIONS

**POINTS OF CONTACT**

**LAND OWNER:**  
SCOTT DAHLBERG  
GREAT LAKES COMPONENTS, LLC  
496 SOUTH PINE STREET  
BURLINGTON, WI  
(262) 763-2226

**PROJECT ENGINEER:**  
GREG GOVERNATORI, P.E.  
KAPUR & ASSOCIATES, INC  
1224 S. PINE STREET  
BURLINGTON, WI 53105  
PHONE: (262) 747-2747

**CONSTRUCTION MANAGER:**  
SCOTT DAHLBERG  
3D CONSTRUCTION, INC  
496 SOUTH PINE STREET  
BURLINGTON, WI  
(262) 763-4600

**EROSION CONTROL LEGEND**

- — — FILTER FABRIC SILT FENCE  
SEE DETAIL 1/C201
- ⊗ DESIGNATES PROPOSED INLETS THAT MUST BE PROTECTED AFTER THEY HAVE BEEN CONSTRUCTED.  
SEE DETAIL 3/C201
- ⊘ DESIGNATES EXISTING INLETS THAT MUST BE PROTECTED  
SEE DETAIL 3/C201
- INSTALL EROSION MAT ON ALL SLOPES GREATER THAN 4:1 AND ALL DRAINAGE SWALES
- USE CLASS I, TYPE A FROM MSDOT  
PRODUCT APPROVED LIST FOR ALL SIDE SLOPES
- USE CLASS II, TYPE B FOR ALL DRAINAGE SWALES.  
INSTALL EROSION MAT ON THE BOTTOM OF AND A MINIMUM OF 2 FEET VERTICALLY UP THE SIDE SLOPES OF ALL DRAINAGE SWALES. CLASS I, TYPE A MAY BE USED FOR THE REMAINDER OF THE SIDE SLOPES IN DRAINAGE SWALES EXCEEDING 2 FEET VERTICALLY.
- — — STRAW/HAY EROSION BALES

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND WPDES PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.



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