

Notice: Use this form to request a **written response (on agency letterhead)** from the Department of Natural Resources (DNR) regarding technical assistance, a post-closure change to a site, a specialized agreement or liability clarification for Property with known or suspected environmental contamination. A fee will be required as is authorized by s. 292.55, Wis. Stats., and NR 749, Wis. Adm. Code., unless noted in the instructions below. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records law [ss. 19.31 - 19.39, Wis. Stats.].

Definitions

"Property" refers to the subject Property that is perceived to have been or has been impacted by the discharge of hazardous substances.

"Liability Clarification" refers to a written determination by the Department provided in response to a request made on this form. The response clarifies whether a person is or may become liable for the environmental contamination of a Property, as provided in s. 292.55, Wis. Stats.

"Technical Assistance" refers to the Department's assistance or comments on the planning and implementation of an environmental investigation or environmental cleanup on a Property in response to a request made on this form as provided in s. 292.55, Wis. Stats.

"Post-closure modification" refers to changes to Property boundaries and/or continuing obligations for Properties or sites that received closure letters for which continuing obligations have been applied or where contamination remains. Many, but not all, of these sites are included on the GIS Registry layer of RR Sites Map to provide public notice of residual contamination and continuing obligations.

Select the Correct Form

This form should be used to request the following from the DNR:

- Technical Assistance
- Liability Clarification
- Post-Closure Modifications
- Specialized Agreements (tax cancellation, negotiated agreements, etc.)

Do not use this form if one of the following applies:

- Request for an **off-site liability exemption or clarification** for Property that has been or is perceived to be contaminated by one or more hazardous substances that originated on another Property containing the source of the contamination. Use DNR's Off-Site Liability Exemption and Liability Clarification Application Form 4400-201.
- Submittal of an Environmental Assessment for the **Lender Liability Exemption**, s 292.21, Wis. Stats., **if no response or review by DNR is requested**. Use the Lender Liability Exemption Environmental Assessment Tracking Form 4400-196.
- Request for an **exemption to develop on a historic fill site** or licensed landfill. Use DNR's Form 4400-226 or 4400-226A.
- **Request for closure** for Property where the investigation and cleanup actions are completed. Use DNR's Case Closure - GIS Registry Form 4400-202.

All forms, publications and additional information are available on the internet at: dnr.wi.gov/topic/Brownfields/Pubs.html.

Instructions

1. Complete sections 1, 2, 6 and 7 for all requests. Be sure to provide adequate and complete information.
2. Select the type of assistance requested: Section 3 for technical assistance or post-closure modifications, Section 4 for a written determination or clarification of environmental liabilities; or Section 5 for a specialized agreement.
3. Include the fee payment that is listed in Section 3, 4, or 5, unless you are a "Voluntary Party" enrolled in the Voluntary Party Liability Exemption Program and the questions in Section 2 direct otherwise. Information on to whom and where to send the fee is found in Section 8 of this form.
4. Send the completed request, supporting materials and the fee to the appropriate DNR regional office where the Property is located. See the map on the last page of this form. A paper copy of the signed form and all reports and supporting materials shall be sent with an electronic copy of the form and supporting materials on a compact disk. For electronic document submittal requirements see: <http://dnr.wi.gov/files/PDF/pubs/rr/RR690.pdf>

The time required for DNR's determination varies depending on the complexity of the site, and the clarity and completeness of the request and supporting documentation.

Technical Assistance, Environmental Liability Clarification or Post-Closure Modification Request

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Section 1. Contact and Recipient Information

Requester Information

This is the person requesting technical assistance or a post-closure modification review, that his or her liability be clarified or a specialized agreement and is identified as the requester in Section 7. DNR will address its response letter to this person.

Last Name Sullivan	First Brendan	MI	Organization/ Business Name Decorah Flats, LLC
Mailing Address 10201 N. Enterprise Dr			City Mequon
			State WI
			ZIP Code 54092
Phone # (include area code) (404) 655-7883	Fax # (include area code)	Email brendan@mdg.one	

The requester listed above: (select all that apply)

- Is currently the owner
- Is currently considering selling the Property
- Is renting or leasing the Property
- Is currently considering acquiring the Property
- Is a lender with a mortgagee interest in the Property
- Other. Explain the status of the Property with respect to the applicant:

Contact Information (to be contacted with questions about this request)

Select if same as requester

Contact Last Name Sadownikow	First Kraig	MI	Organization/ Business Name American Construction Services
Mailing Address 3350 South RIVER Road			City West Bend
			State WI
			ZIP Code 53095
Phone # (include area code) (262) 334-3811	Fax # (include area code)	Email kraig@teamacs.net	

Environmental Consultant (if applicable)

Contact Last Name Bonniwell	First Chris	MI	Organization/ Business Name Tetra Tech, Inc
Mailing Address 13555 Bishops Ct - Suite 201			City Brookfield
			State WI
			ZIP Code 53005
Phone # (include area code) (262) 792-1282	Fax # (include area code)	Email chris.bonniwell@tetrattech.com	

Section 2. Property Information

Property Name Jacobus West Bend Retail Station (former)	FID No. (if known) 267102220
BRRS No. (if known) 03-67-558530	Parcel Identification Number 29111192420011
Street Address 103 E. Decorah Road	City West Bend
	State WI
	ZIP Code 53095
County Washington	Municipality where the Property is located <input checked="" type="radio"/> City <input type="radio"/> Town <input type="radio"/> Village of
	Property is composed of: <input type="radio"/> Single tax parcel <input type="radio"/> Multiple tax parcels
	Property Size Acres 6.56

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1. Is a response needed by a specific date? (e.g., Property closing date) Note: Most requests are completed within 60 days. Please plan accordingly.

No Yes

Date requested by: 06/15/2024

Reason: Commencement of construction activities

2. Is the "Requester" enrolled as a Voluntary Party in the Voluntary Party Liability Exemption (VPLE) program?

No. Include the fee that is required for your request in Section 3, 4 or 5.

Yes. Do not include a separate fee. This request will be billed separately through the VPLE Program.

Fill out the information in Section 3, 4 or 5 which corresponds with the type of request:

Section 3. Technical Assistance or Post-Closure Modifications;

Section 4. Liability Clarification; or Section 5. Specialized Agreement.

Section 3. Request for Technical Assistance or Post-Closure Modification

Select the type of technical assistance requested: [Numbers in brackets are for WI DNR Use]

- No Further Action Letter (NFA) (Immediate Actions) - NR 708.09, [183] - Include a fee of \$350. Use for a written response to an immediate action after a discharge of a hazardous substance occurs. Generally, these are for a one-time spill event.
- Review of Site Investigation Work Plan - NR 716.09, [135] - Include a fee of \$700.
- Review of Site Investigation Report - NR 716.15, [137] - Include a fee of \$1050.
- Approval of a Site-Specific Soil Cleanup Standard - NR 720.10 or 12, [67] - Include a fee of \$1050.
- Review of a Remedial Action Options Report - NR 722.13, [143] - Include a fee of \$1050.
- Review of a Remedial Action Design Report - NR 724.09, [148] - Include a fee of \$1050.
- Review of a Remedial Action Documentation Report - NR 724.15, [152] - Include a fee of \$350
- Review of a Long-term Monitoring Plan - NR 724.17, [25] - Include a fee of \$425.
- Review of an Operation and Maintenance Plan - NR 724.13, [192] - Include a fee of \$425.

Other Technical Assistance - s. 292.55, Wis. Stats. [97] (For request to build on an abandoned landfill use Form 4400-226)

- Schedule a Technical Assistance Meeting - Include a fee of \$700.
- Hazardous Waste Determination - Include a fee of \$700.
- Other Technical Assistance - Include a fee of \$700. Explain your request in an attachment.

Post-Closure Modifications - NR 727, [181]

- Post-Closure Modifications: Modification to Property boundaries and/or continuing obligations of a closed site or Property; sites may be on the GIS Registry. This also includes removal of a site or Property from the GIS Registry. Include a fee of \$1050, and:
 - Include a fee of \$300 for sites with residual soil contamination; and
 - Include a fee of \$350 for sites with residual groundwater contamination, monitoring wells or for vapor intrusion continuing obligations.

Attach a description of the changes you are proposing, and documentation as to why the changes are needed (if the change to a Property, site or continuing obligation will result in revised maps, maintenance plans or photographs, those documents may be submitted later in the approval process, on a case-by-case basis).

Section 4. Request for Liability Clarification

Select the type of liability clarification requested. Use the available space given or attach information, explanations, or specific questions that you need answered in DNR's reply. Complete Sections 6 and 7 of this form. [Numbers in brackets are for DNR Use]

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"Lender" liability exemption clarification - s. 292.21, Wis. Stats. [686]

❖ **Include a fee of \$700.**

Provide the following documentation:

- (1) ownership status of the real Property, and/or the personal Property and fixtures;
- (2) an environmental assessment, in accordance with s. 292.21, Wis. Stats.;
- (3) the date the environmental assessment was conducted by the lender;
- (4) the date of the Property acquisition; for foreclosure actions, include a copy of the signed and dated court order confirming the sheriff's sale.
- (5) documentation showing how the Property was acquired and the steps followed under the appropriate state statutes.
- (6) a copy of the Property deed with the correct legal description; and,
- (7) the Lender Liability Exemption Environmental Assessment Tracking Form (Form 4400-196).
- (8) If no sampling was done, please provide reasoning as to why it was **not** conducted. Include this either in the accompanying environmental assessment or as an attachment to this form, and cite language in s. 292.21(1)(c)2., h.-i., Wis. Stats.:
 - h. The collection and analysis of representative samples of soil or other materials in the ground that are suspected of being contaminated based on observations made during a visual inspection of the real Property or based on aerial photographs, or other information available to the lender, including stained or discolored soil or other materials in the ground and including soil or materials in the ground in areas with dead or distressed vegetation. The collection and analysis shall identify contaminants in the soil or other materials in the ground and shall quantify concentrations.
 - i. The collection and analysis of representative samples of unknown wastes or potentially hazardous substances found on the real Property and the determination of concentrations of hazardous waste and hazardous substances found in tanks, drums or other containers or in piles or lagoons on the real Property.

"Representative" liability exemption clarification (e.g. trustees, receivers, etc.) - s. 292.21, Wis. Stats. [686]

❖ **Include a fee of \$700.**

Provide the following documentation:

- (1) ownership status of the Property;
- (2) the date of Property acquisition by the representative;
- (3) the means by which the Property was acquired;
- (4) documentation that the representative has no beneficial interest in any entity that owns, possesses, or controls the Property;
- (5) documentation that the representative has not caused any discharge of a hazardous substance on the Property; and
- (6) a copy of the Property deed with the correct legal description.

Clarification of local governmental unit (LGU) liability exemption at sites with: (select all that apply)

- hazardous substances spills - s. 292.11(9)(e), Wis. Stats. [649];
- Perceived environmental contamination - [649];
- hazardous waste - s. 292.24 (2), Wis. Stats. [649]; and/or
- solid waste - s. 292.23 (2), Wis. Stats. [649].

❖ **Include a fee of \$700, a summary of the environmental liability clarification being requested, and the following:**

- (1) clear supporting documentation showing the acquisition method used, and the steps followed under the appropriate state statute(s).
- (2) current and proposed ownership status of the Property;
- (3) date and means by which the Property was acquired by the LGU, where applicable;
- (4) a map and the ¼, ¼ section location of the Property;
- (5) summary of current uses of the Property;
- (6) intended or potential use(s) of the Property;
- (7) descriptions of other investigations that have taken place on the Property; and
- (8) (for solid waste clarifications) a summary of the license history of the facility.

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Section 4. Request for Liability Clarification (cont.)

Lease liability clarification - s. 292.55, Wis. Stats. [646]

❖ Include a fee of \$700 for a single Property, or \$1400 for multiple Properties and the information listed below:

- (1) a copy of the proposed lease;
- (2) the name of the current owner of the Property and the person who will lease the Property;
- (3) a description of the lease holder's association with any persons who have possession, control, or caused a discharge of a hazardous substance on the Property;
- (4) map(s) showing the Property location and any suspected or known sources of contamination detected on the Property;
- (5) a description of the intended use of the Property by the lease holder, with reference to the maps to indicate which areas will be used. Explain how the use will not interfere with any future investigation or cleanup at the Property; and
- (6) all reports or investigations (e.g. Phase I and Phase II Environmental Assessments and/or Site Investigation Reports conducted under s. NR 716, Wis. Adm. Code) that identify areas of the Property where a discharge has occurred.

General or other environmental liability clarification - s. 292.55, Wis. Stats. [682] - Explain your request below.

❖ Include a fee of \$700 and an adequate summary of relevant environmental work to date.

No Action Required (NAR) - NR 716.05, [682]

❖ Include a fee of \$700.

Use where an environmental discharge has or has not occurred, and applicant wants a DNR determination that no further assessment or clean-up work is required. Usually this is requested after a Phase I and Phase II environmental assessment has been conducted; the assessment reports should be submitted with this form. This is not a closure letter.

Clarify the liability associated with a "closed" Property - s. 292.55, Wis. Stats. [682]

❖ Include a fee of \$700.

- Include a copy of any closure documents if a state agency other than DNR approved the closure.

Use this space or attach additional sheets to provide necessary information, explanations or specific questions to be answered by the DNR.

Section 5. Request for a Specialized Agreement

Select the type of agreement needed. Include the appropriate draft agreements and supporting materials. Complete Sections 6 and 7 of this form. More information and model draft agreements are available at: dnr.wi.gov/topic/Brownfields/lgu.html#tabx4.

Tax cancellation agreement - s. 75.105(2)(d), Wis. Stats. [654]

❖ Include a fee of \$700, and the information listed below:

- (1) Phase I and II Environmental Site Assessment Reports,
- (2) a copy of the Property deed with the correct legal description.

Agreement for assignment of tax foreclosure judgement - s.75.106, Wis. Stats. [666]

❖ Include a fee of \$700, and the information listed below:

- (1) Phase I and II Environmental Site Assessment Reports,
- (2) a copy of the Property deed with the correct legal description.

Negotiated agreement - Enforceable contract for non-emergency remediation - s. 292.11(7)(d) and (e), Wis. Stats. [630]

❖ Include a fee of \$1400, and the information listed below:

- (1) a draft schedule for remediation; and,
- (2) the name, mailing address, phone and email for each party to the agreement.

Section 6. Other Information Submitted

Identify all materials that are included with this request.

Send both a paper copy of the signed form and all reports and supporting materials, and an electronic copy of the form and all reports, including Environmental Site Assessment Reports, and supporting materials on a compact disk.

Include one copy of any document from any state agency files that you want the Department to review as part of this request. The person submitting this request is responsible for contacting other state agencies to obtain appropriate reports or information.

Phase I Environmental Site Assessment Report - Date: _____

Phase II Environmental Site Assessment Report - Date: _____

Legal Description of Property (required for all liability requests and specialized agreements)

Map of the Property (required for all liability requests and specialized agreements)

Analytical results of the following sampled media: Select all that apply and include date of collection.

Groundwater Soil Sediment Other medium - Describe: _____

Date of Collection: _____

A copy of the closure letter and submittal materials

Draft tax cancellation agreement

Draft agreement for assignment of tax foreclosure judgment

Other report(s) or information - Describe: Post-closure modification request

For Property with newly identified discharges of hazardous substances only: Has a notification of a discharge of a hazardous substance been sent to the DNR as required by s. NR 706.05(1)(b), Wis. Adm. Code?

Yes - Date (if known): _____

No

Note: The Notification for Hazardous Substance Discharge Form - Non-Emergency Only (Form 4400-225) is accessible through the RR Program Submittal Portal application. Directions for using the form and the Submittal Portal application are available on the [Submittal Portal web page](#).

Section 7. Certification by the Person who completed this form

I am the person submitting this request (requester)

I prepared this request for: Brendan Sullivan
Requester Name

I certify that I am familiar with the information submitted on this request, and that the information on and included with this request is true, accurate and complete to the best of my knowledge. I also certify I have the legal authority and the applicant's permission to make this request.


Signature

5/27/24
Date Signed

Midwest Principal Acct Manager
Title

(262) 792-1282
Telephone Number (include area code)

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Section 8. DNR Contacts and Addresses for Request Submittals

Send or deliver one paper copy and one electronic copy on a compact disk of the completed request, supporting materials, and fee to the region where the property is located to the address below. Contact a DNR regional brownfields specialist with any questions about this form or a specific situation involving a contaminated property. For electronic document submittal requirements see: <http://dnr.wi.gov/files/PDF/pubs/rr/RR690.pdf>.

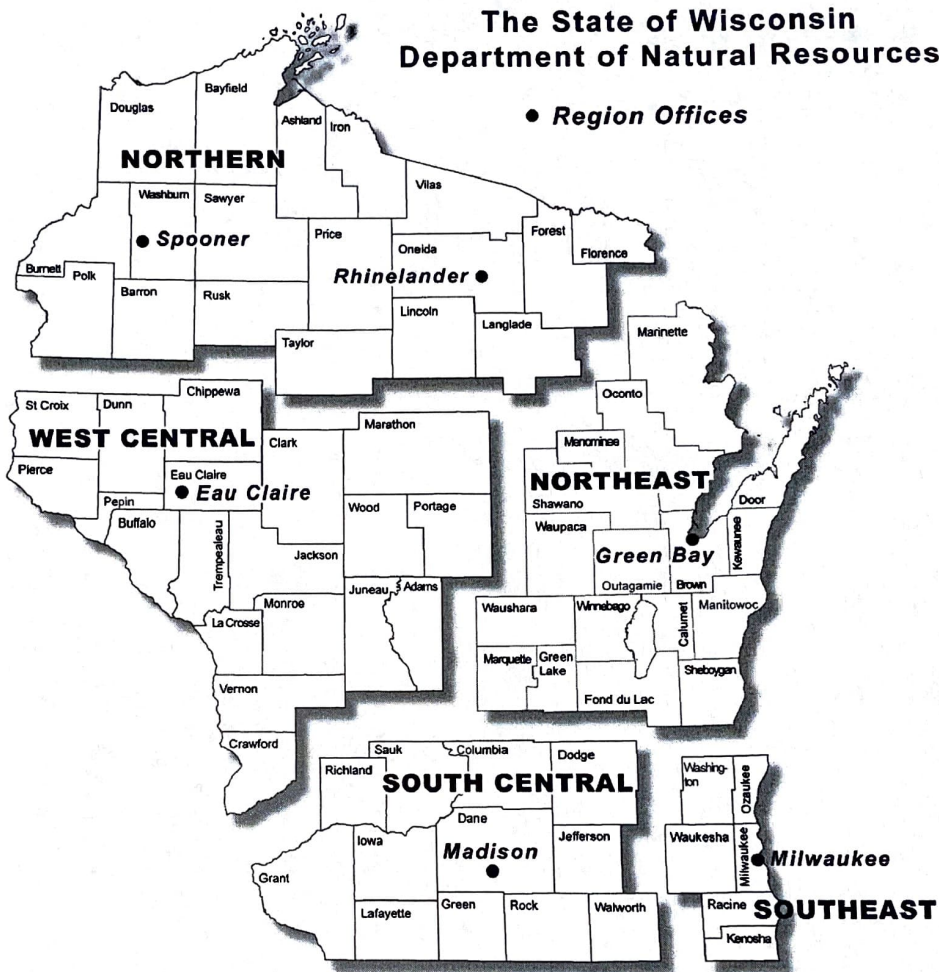
DNR NORTHERN REGION
Attn: RR Program Assistant
Department of Natural Resources
223 E Steinfest Rd Antigo, WI 54409

DNR NORTHEAST REGION
Attn: RR Program Assistant
Department of Natural Resources
2984 Shawano Avenue
Green Bay WI 54313

DNR SOUTH CENTRAL REGION
Attn: RR Program Assistant
Department of Natural Resources
3911 Fish Hatchery Road
Fitchburg WI 53711

DNR SOUTHEAST REGION
Attn: RR Program Assistant
Milwaukee DNR Office
1027 West St. Paul Ave
Milwaukee WI 53233

DNR WEST CENTRAL REGION
Attn: RR Program Assistant
Department of Natural Resources
1300 Clairemont Ave.
Eau Claire WI 54702



Note: These are the Remediation and Redevelopment Program's designated regions. Other DNR program regional boundaries may be different.

DNR Use Only

Date Received	Date Assigned	BRRTS Activity Code	BRRTS No. (if used)
DNR Reviewer		Comments	
Fee Enclosed? <input type="radio"/> Yes <input type="radio"/> No	Fee Amount \$	Date Additional Information Requested	Date Requested for DNR Response Letter
Date Approved	Final Determination		

CERTIFICATION

Hydrogeologist:

I hereby certify that I am a hydrogeologist as that term is defined in s. NR712.03(1), Wis. Adm. Code, and that, to the best of my knowledge, all information contained in this document is correct and the document was prepared in compliance with all applicable requirements in chs. NR700 to 726, Wis. Adm. Code.



Chris Bonniwell, Ph.D, P.G.
Midwest Principal Account Manager

May 24, 2024

Ms. Victoria Stovall
Wisconsin Department of Natural Resources
PO Box 12436
Milwaukee, WI 53212

Subject: **Post-Closure Modification Request**
West Bend Bulk Plant - BRRTS #0367001449
Jacobus West Bend Retail Station (former) - BRRTS #0367558530
Jacobus West Bend Bulk Systems (former) – BRRTS #0367558564
111 E. Decorah Road, West Bend, FID #267102220

Dear Ms. Stovall

On behalf of Decorah Flats, LLC, Tetra Tech is submitting this Post-Closure Modification Request (Form 4400-237) in preparation for the redevelopment at the above referenced site in accordance with Wisconsin Administrative Code (WAC) chapter NR 727.07. Planned site work includes demolition of the current structure, earthwork during construction of a new multi-unit residential apartment building (Decorah Flats) and townhouse community (Iron Horse Commons), utility installation, and modification to the existing engineered cap by construction and landscaping activities.

SITE LOCATION

The proposed redevelopment is located in the Northeast Quarter (NE ¼) of the Northwest Quarter (NW ¼) of Section Twenty-Four (24), Township Eleven North (11N), Range Nineteen East (19E), Washington County, Wisconsin. The property is listed with the street address of 111 E. Decorah Road. The subject property contains 6.56 acres of land and is bound by the right of way of Decorah Road to the north, Sand Drive to the east, commercial/industrial property to the south (We Energies), and the Eisenbahn Trail to the west. The new address for the Decorah Road Apartments will be 103 E. Decorah Road, West Bend, WI. A site location map is included as **Figure 1**. The Current layout and features of the property are shown in **Figure 2**.

BACKGROUND

This property was a petroleum bulk storage facility as well as a retail gas station. Beginning in 1992, the site underwent various forms of remedial action for on and offsite petroleum contamination in the soil and groundwater. Remedial actions included tank removals, soil remediation, groundwater pump-and-treat, free product removal, soil venting and monitored natural attenuation in groundwater. The conditions of the closure and continuing obligations were based on this property being used for commercial purposes. Off-site affected properties have contamination in the groundwater and include the right-of-way of East Decorah Road; JKA Enterprises, 760 S. Indiana Avenue; and Good Shepherd Evangelical Lutheran Church, 777 S. Indiana Avenue.

The residual soil and groundwater impacts associated with the site at the time of closure are indicated on **Figure 3** and **Figure 4**, respectively, along with the anticipated development plans for the Decorah Flats apartments on the north end of the property. **Appendix A** contains exhibits from the Continuing Obligations packet detailing the soil and groundwater impacts at the time of closure. In general, limited residual petroleum shallow soil impacts were observed in the northwest portion of the property. Deeper residual petroleum impacted soils associated with the smear zone (12-20 ft bgs) were observed in the northwest portion of the property and extending off site to the northeast in the direction of groundwater flow. Residual groundwater impacts are historically depicted as a limited area of free product on site in the northwest, with residual impacts extending off-site to the northeast.

CONTINUING OBLIGATIONS

As detailed in the WDNR closure letter dated December 10, 2013, the continuing obligations for this site are as follows:

- Groundwater contamination is present above ch. NR 140, Wis. Adm. Code enforcement standards.
- Residual soil contamination exists that must be properly managed should it be excavated or removed.
- Pavement, an engineered cover, or a soil barrier must be maintained to prevent infiltration over contaminated soil, and the WDNR must approve any changes to this barrier.
- Remaining soil contamination could result in vapor intrusion if future construction activities occur. Vapor control technologies will be required for occupied buildings, unless the property owner assesses the potential for vapor intrusion, and the WDNR agrees that vapor control technologies are not needed.
- Site-specific vapor exposure assumptions were used; based on commercial or industrial use. Current land or property use must be maintained to be protective. If changes to the current property use or land use are planned, an assessment must be made of whether the closure is still protective.

The above detailed continuing obligations pertain to residual soil and groundwater conditions associated with the former petroleum retail operation on the north end of the property on which the Decorah Flats apartments are to be developed. The above identified continuing obligations do not appear pertinent to the southern portion of the property on which the Iron Horse Commons townhomes are to be developed.

POST-CLOSURE MODIFICATIONS

Development Plans

Development plans for the parcel include the Decorah Flats apartments located on the northern third of the 6.56 acre parcel (**Figure 2**), and the Iron Horse Commons townhouse community on the southern two-thirds of the parcel. Preliminary design and construction plans for the Decorah Flats apartments and Iron Horse Commons townhomes are included as **Appendix B** and **Appendix C**, respectively. Based on the closure packages for the identified historical BRRTS incidents, the continuing obligations associated with the property appear only applicable to the conditions at the north end of the property where the Decorah Flats Apartments will be located.

The development plans for the property affect several aspects of the above continuing obligations for the Site. The following post closure modifications are discussed below:

- Groundwater Contamination
- Residual Soil Contamination
- Cap Modification
- Vapor Intrusion Mitigation
- Land Use Designation

Groundwater Contamination

Property development plans do not include activities anticipated to result in direct contact with or use of groundwater at the site (e.g. well development, utility trenches, trench/excavation dewatering) based upon historical investigation documents identifying the depth to groundwater as being ~10-15 below ground surface (bgs), which is beyond the depth of any planned excavation activities. No new or reconstructed water supply wells are anticipated for the development. No post closure modification requests relating to residual groundwater impacts are requested.

Residual Soil Contamination

Soil contamination remains around the edges of the former remedial excavations as indicated on **Figure 3** and **Appendix A**. Residual shallow soil impacts may be encountered during excavation and grading activities for the northwestern portion of the Decorah Flats apartment structure. If soil in the specific locations is excavated, the property owner will screen soils for volatile organic compounds (VOCs) via a photoionization detector (PID) and sample and analyze the excavated soil to determine if contamination remains. If sampling confirms that contamination is present, the property owner will determine whether the material is considered solid or hazardous waste and ensure that any storage, treatment, or disposal is in compliance with applicable standards and rules. Contaminated soil will be managed in accordance with ch. NR 718, Wis. Adm. Code, as applicable and with prior WDNR approval. Contaminated soil encountered during excavation activities will be hauled off-site by the excavation contractor for disposal at a licensed landfill as non-hazardous solid waste. Each load will require an individually signed manifest provided by Tetra Tech as owner representative.

Cap Modification

The existing engineered cap is depicted on **Figure 3**, overlain with the proposed development plans and historical extent of soil impacts. The existing cap maintenance plan calls for the pavement, building and other impervious cover that exists within the engineered cap area to be maintained to minimize the infiltration of water and prevent additional groundwater contamination that would violate the groundwater quality standards in ch. NR 140, Wis. Adm. Code. The cover approved for this closure was designed to be protective for a commercial or industrial use setting, and modification requires WDNR notification to determine if additional response actions are warranted.

This document serves as a written request to modify the existing engineered cap as indicated on **Figure 3**. In general, the majority of the existing impervious surface will continue to be an impervious surface as asphalt parking lot, concrete sidewalk, or new building structure. A limited portion of the existing impervious cover along the northeast perimeter will be converted to decorative landscape, with only a subsection of the landscaping overlying residual smear zone soil impacts.

The existing maintenance plan and inspection log (WDNR form 4400-305) will be updated to reflect the final construction design and kept up-to-date and on site. Inspections shall be conducted annually in accordance with the updated maintenance plan, with inspection logs submitted to the WDNR upon request.

Vapor Intrusion Mitigation

Vapor intrusion is the movement of vapors coming from volatile chemicals in the soil or groundwater, into buildings where people may breathe air contaminated by the vapors. Vapor mitigation systems are used to interrupt the pathway, thereby preventing vapors from moving into the building. Petroleum volatile organic contaminants remain in soil and groundwater: in soil, around the perimeter of the former remedial excavations; and in groundwater, in a plume that extends from the north central portion of the property to offsite in a northeasterly direction, as shown on **Figures 3 and 4**, at levels that may be of concern for vapor intrusion in the future, depending on construction and occupancy of a building. As identified by the WDNR in the closure package:

- Remaining soil contamination could result in vapor intrusion if future construction activities occur.
- Vapor control technologies will be required for occupied buildings, unless the property owner assesses the potential for vapor intrusion, and the WDNR agrees that vapor control technologies are not needed.
- Depending on site-specific conditions, construction over contaminated soils or groundwater may result in vapor migration of contaminants into enclosed structures or migration along newly placed underground utility lines. The potential for vapor inhalation and means of mitigation should be evaluated when planning any future redevelopment, and measures should be taken to ensure the continued protection of public health, safety, welfare, and the environment at the site.
- At this time there is a building used for commercial purposes on the property. Therefore, before a new building is constructed and/or an existing building is modified, the property owner must notify the WDNR at least 45 days before the change. Vapor control technologies are required for construction of occupied buildings unless the property owner assesses the vapor pathway and WDNR agrees that vapor control technologies are not needed.

The proposed development of the Decorah Flats apartments will incorporate the following vapor mitigation measures:

- Sub-slab vapor conduit piping overlain by a continuously seamed 15 mil vapor barrier.
- Extraction piping will be connected to the sub-slab vapor conduit at two or more locations and equipped with extraction fans to create a sub-slab depressurization field of $-0.004'$ WC or greater across the entirety of the building footprint. Exhaust piping will extend above the roof top.

- The vapor mitigation system will be equipped with visual pressure indicators, audible alarms, a telemetric notification system, and provisions for backup power.
- Vapor Pins will be installed across the foundation to allow demonstrations of the induced pressure field.

During construction of the building, an assessment of sub-slab soil gases will be performed to determine if the potential for vapor intrusion from the residual soil and groundwater petroleum impacts is sufficient to warrant activation of the mitigation system as determined by WDNR sub-slab soil gas screening criteria. The assessment will be presented to the WDNR for technical review. Should the assessment identify that activation of the mitigation system is warranted, a commissioning plan will be submitted to the WDNR outlining the process for demonstrating the system is successfully mitigating the vapor intrusion concern. The commissioning plan will be developed to be consistent with applicable WDNR guidance at the time of the submittal.

Based upon the design drawings for the Decorah Flats Apartments (**Appendix B**), the sewer connections for the building are not anticipated to intersect impacted groundwater. The potential for the sewer line to serve as a preferential pathway for potential vapor intrusion is unlikely.

Land Use Designation

The land use established for the site at the time of closure was designated as commercial. The proposed modification for the property would revise this classification to residential. The potential exposure pathways for residual impacts at the site include soil direct contact, groundwater ingestion, and vapor inhalation. The proposed development and construction plans for the site's use as residential property do not increase the likelihood of exposure given the proposed post-closure modifications detailed above. Pursuant to the WDNR required 45-day advance notification and written approval, Decorah Flats, LLC requests the WDNR approve the modification to the site usage from commercial to residential. The land use designation is the only continuing obligation that is applicable to the southern portion of the property on which the Iron Horse Commons townhouse community will be developed.

SCHEDULE

Decorah Flats, LLC site redevelopment is scheduled to commence June 15, 2024, beginning with building demolition. Tetra Tech will be overseeing the soil management throughout the entire project duration. A documentation report including a revised Maintenance Plan for the soil cover will also be submitted following project completion.

The request to modify the land use from commercial to residential is a primary component of this post-closure modification request that can significantly impact the property development, therefore, timely feedback is appreciated to avoid delays.

Please contact Chris Bonniwell via email at chris.bonniwell@tetrattech.com or via phone at (262) 792-1282 if there are any questions or further information on this request is required.

Sincerely,



Chris Bonniwell, Ph.D., PG
Midwest Principal Acct Mgr



Connor Lauzon, PG
Project Manager

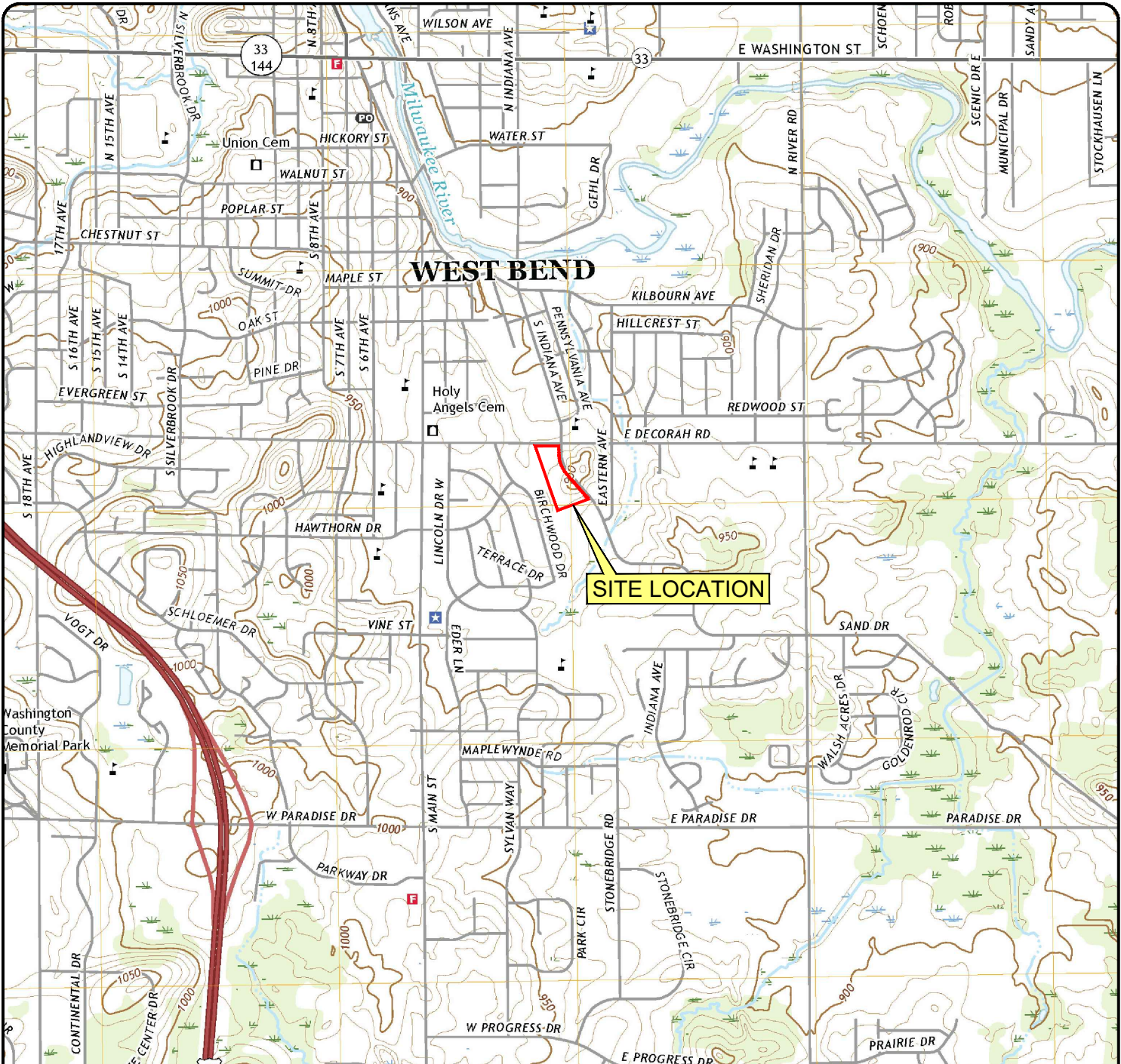
Attachments: Figures

- Figure 1 – Site Location Map
- Figure 2 – Current Site Plan
- Figure 3 – Residual Soil – Cap Modification
- Figure 4 – Residual Groundwater

Appendices

- Appendix A – Historical Residual Soil & Groundwater Impacts
- Appendix B - Decorah Flats Design Drawings
- Appendix C – Iron Horse Commons Design Drawings

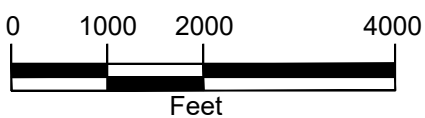
ATTACHMENT – FIGURES



SOURCE: U.S.G.S. TOPOGRAPHIC QUADRANGLE WEST BEND, WI (2018)



WASHINGTON COUNTY
WISCONSIN



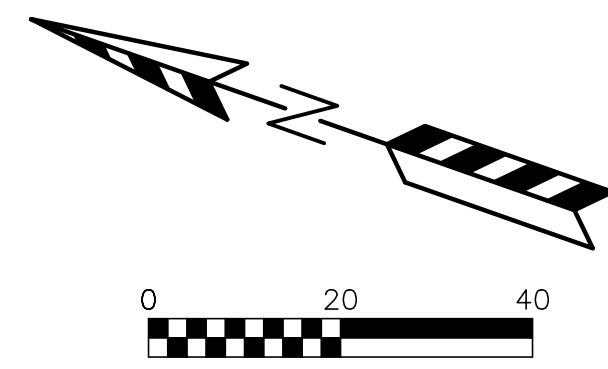
P:\ACAD\328416-24006-WEST\328416-24006-001A.DWG

TETRA TECH
www.tetrattech.com
13555 BISHOPS COURT, SUITE 201
BROOKFIELD, WI 53005
PHONE: 262.792.1282

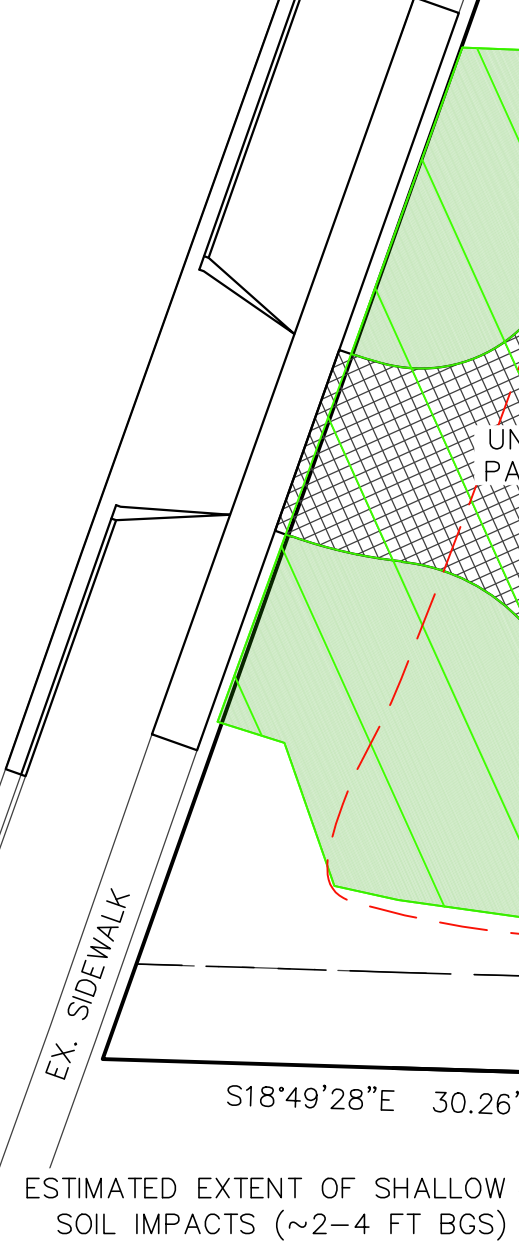
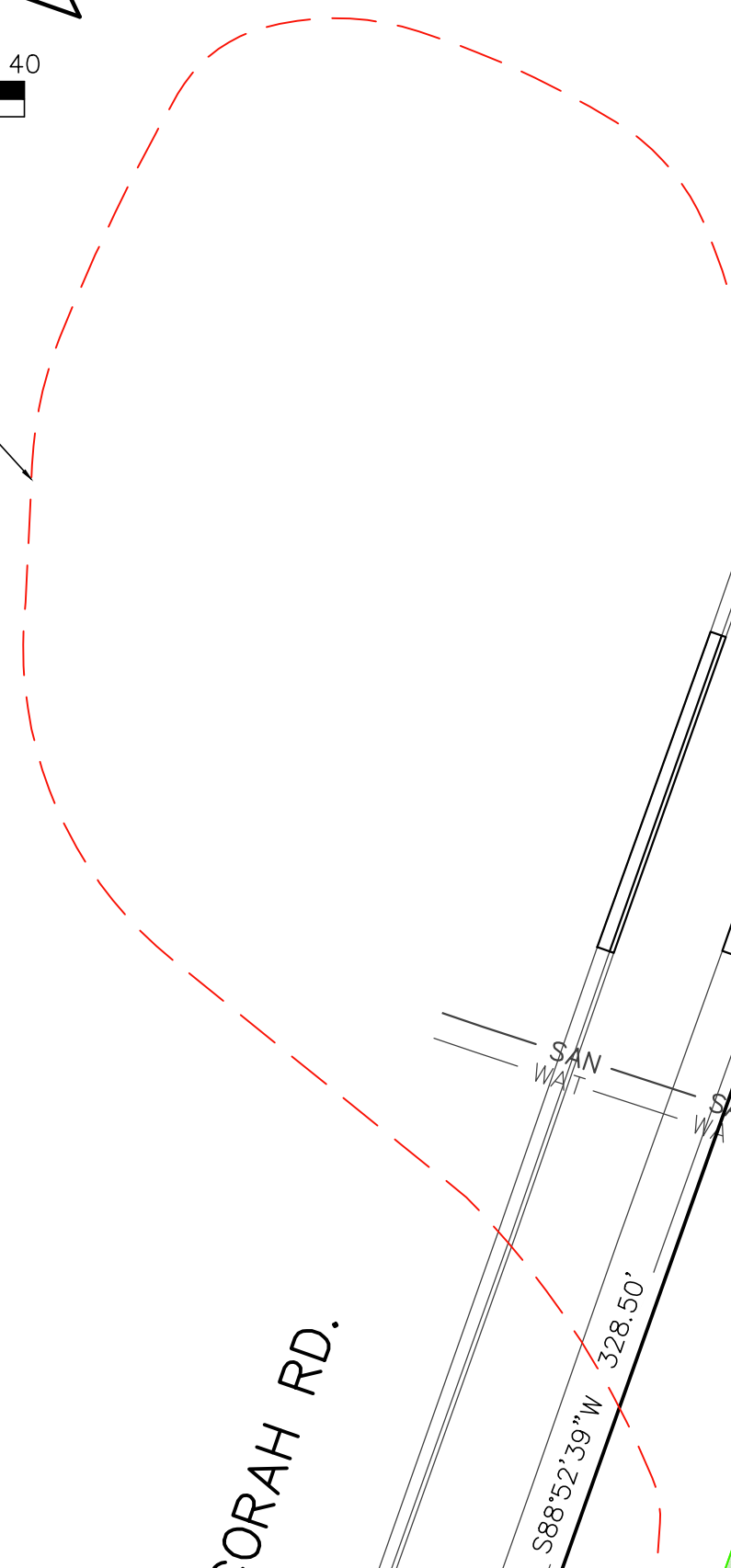
111 E. DECORAH ROAD
WEST BEND, WISCONSIN 53095
SITE LOCATION MAP

Project No:	117-328416-24006
Designed by:	CP
Checked by:	CB
FIGURE	
1	

Bar Measures 1 inch



ESTIMATED EXTENT OF DEEP/SMEAR ZONE SOIL IMPACTS (>10 FT BGS)



ESTIMATED EXTENT OF SHALLOW SOIL IMPACTS (~2-4 FT BGS)



LIMITS OF EXISTING ENGINEERED CAP

CONNECT TO EXISTING 6" SANITARY LATERAL
6" IE=918.64
(CONFIRM WITH CITY PLANS)

SAND DRIVE
(RECONSTRUCTED BY OTHERS)

CONNECT TO EXISTING 8" WATER SERVICE
8" IE=926.80±
(CONFIRM WITH CITY PLANS)

ABANDON SANITARY LATERAL PER CITY STANDARDS

ABANDON WATER TO MAIN PER CITY STANDARDS

PROPOSED ASPHALT PARKING LOT

3-STORY APARTMENT BUILDING
78 UNITS
59 UNDERGROUND STALLS
FFE=934.50
GFE=923.50

LOT 1
1.870 ACRES

LEGEND:

- SAN — SAN — SANITARY SEWER MAIN OR LATERAL.
- WAT — WAT — WATER MAIN OR SERVICE.
- SAN — SAN — PROPOSED SANITARY SEWER
- WAT — WAT — PROPOSED WATER MAIN
- EX 934.23 — EXISTING SPOT ELEVATION.
- 934.23 — PROPOSED SPOT ELEVATION.
- FFE 934.23 — PROPOSED BUILDING FIRST FLOOR ELEVATION.
- GFE 934.23 — PROPOSED GARAGE FLOOR ELEVATION.
- — DEEP/SMEAR ZONE SOIL IMPACT AREA.
- — SHALLOW SOIL IMPACT AREA.
- — EXISTING ENGINEERED CAP.
- — EXISTING ENGINEERED CAP TO BE MODIFIED.

NOTES:

- VAPOR MITIGATION CONSTRUCTION TO INCLUDE CONTINUOUSLY SEAMED 15 MIL VAPOR BARRIER AND VAPOR CONDUIT CONNECTED TO EXTRACTION PIPING VENTED ABOVE THE ROOF LINE OF THE STRUCTURE. DETAILS TO BE PROVIDED PENDING DEMONSTRATION OF VAPOR RISK FOLLOWING COMPLETED CONSTRUCTION.
- APPROXIMATE GROUNDWATER ELEVATION=907.00

REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

PSE
 PARISH SURVEY & ENGINEERING
 122 Wisconsin Street, West Bend, WI 53095
 262.346.7800
 www.parishse.com

PROJECT TITLE:
**SAND DRIVE APARTMENTS
 103 E. DECORAH ROAD
 WEST BEND, WI 53095**

PLAN TITLE:
**POST-CLOSURE
 MODIFICATION
 DETAILS**

DRAWN BY:
KJP
 DESIGNED BY:
KJP
 CHECKED BY:
KJP

PLAN DATE:
05.17.2024

PROJECT NO:
 \JE-06-22\

PRELIMINARY

SHEET NO:
**FIGURE
 3**



**BUILDING
INFORMATION**

3-STORY APARTMENT BLDG:	86,970 SF
UNDERGROUND PARKING:	28,990 SF
70 PARKING STALLS	
52 TOTAL ONSITE PARKING STALLS	
1ST FLOOR:	28,990 SF
LOBBY & AMENITIES	24
TOTAL ROOMS:	20
1-BEDROOM UNITS	4
2-BEDROOM UNITS	4
2ND FLOOR:	28,990 SF
TOTAL ROOMS:	27
1-BEDROOM UNITS	23
2-BEDROOM UNITS	4
3RD FLOOR:	28,990 SF
TOTAL ROOMS:	27
1-BEDROOM UNITS	23
2-BEDROOM UNITS	4
TOTAL ROOMS:	78 (100%)
1-BEDROOM UNITS:	66 (85%)
2-BEDROOM UNITS:	12 (15%)



PROPOSED BUILDING
Sand Drive Development
Sand Drive
City of West Bend, Washington County

Issue Date:
01 / 24 / 2024

Revision:

Project Number:
23001

Sheet Title:
SCHEMATIC SITE PLAN

HISTORICAL GROUNDWATER IMPACT EXTENT

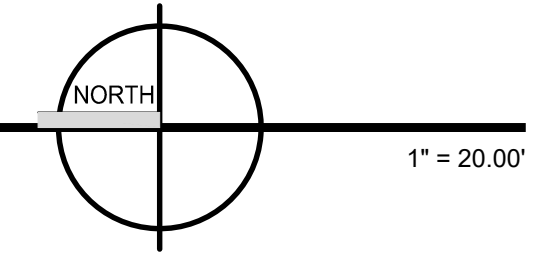
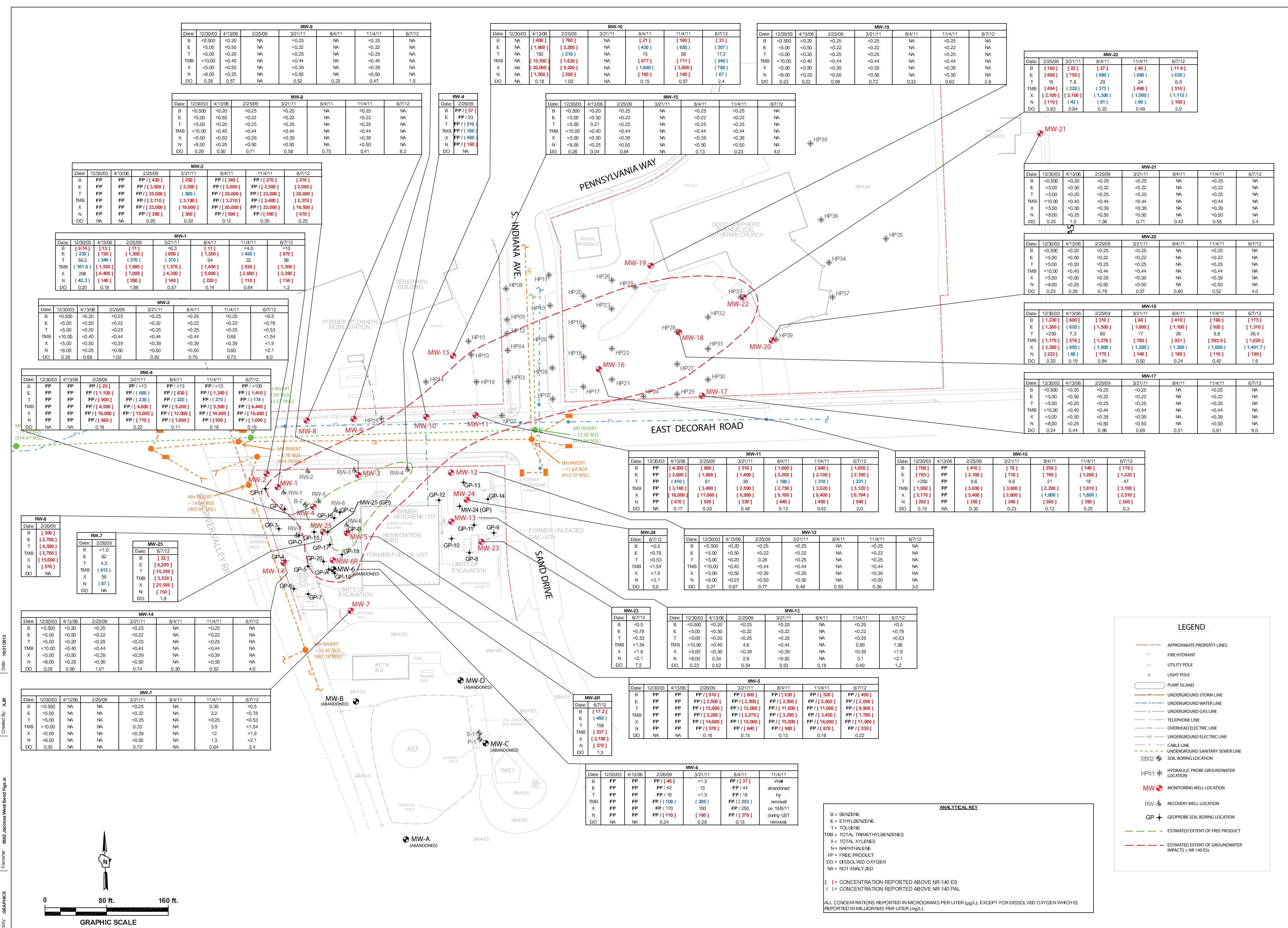


FIGURE 4

ATTACHMENT – APPENDICES

APPENDIX A - HISTORICAL RESIDUAL SOIL & GROUNDWATER IMPACTS



Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.500	<0.20	NA	<0.25	NA	<0.25	NA
E	<5.00	<0.50	NA	<0.22	NA	<0.22	NA
T	<5.00	<0.20	NA	<0.25	NA	<0.25	NA
TMB	<10.00	<0.40	NA	<0.44	NA	<0.44	NA
X	<5.00	<0.50	NA	<0.39	NA	<0.39	NA
N	<8.00	<0.25	NA	<0.50	NA	<0.50	NA
DO	0.28	0.57	NA	0.52	0.23	0.47	1.5

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.500	<0.20	<0.25	<0.22	NA	<0.25	NA
E	<5.00	<0.50	<0.22	<0.22	NA	<0.22	NA
T	<5.00	<0.20	<0.25	<0.25	NA	<0.25	NA
TMB	<10.00	<0.40	<0.44	<0.44	NA	<0.44	NA
X	<5.00	<0.50	<0.39	<0.39	NA	<0.39	NA
N	<8.00	<0.25	<0.50	<0.50	NA	<0.50	NA
DO	0.29	0.50	0.71	0.58	0.75	0.41	8.2

Date:	2/26/09
B	FP / [57]
E	FP / [93]
T	FP / [510]
TMB	FP / [180]
X	FP / [480]
N	FP / [190]
DO	NA

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	NA	[400]	[780]	NA	[21]	[180]	[33]
E	<5.00	[1,900]	[2,200]	NA	[430]	[650]	[207]
T	NA	150	[210]	NA	15	56	17.2
TMB	NA	[15,100]	[1,630]	NA	[677]	[711]	[340]
X	NA	[20,000]	[9,800]	NA	[1,600]	[3,000]	[786]
N	NA	[1,500]	[300]	NA	[140]	[87]	[2.4]
DO	NA	0.18	1.02	NA	0.15	0.57	2.4

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.500	<0.20	<0.25	<0.25	NA	<0.25	NA
E	<5.00	<0.50	<0.22	NA	NA	<0.22	NA
T	<5.00	0.21	<0.25	NA	NA	<0.25	NA
TMB	<10.00	<0.40	<0.44	NA	NA	<0.44	NA
X	<5.00	<0.50	<0.39	NA	NA	<0.39	NA
N	<8.00	<0.25	<0.50	NA	NA	<0.50	NA
DO	0.26	0.34	0.64	NA	0.13	0.23	4.0

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.500	<0.20	<0.25	<0.25	NA	<0.25	NA
E	<5.00	<0.50	<0.22	<0.22	NA	<0.22	NA
T	<5.00	<0.20	<0.25	<0.25	NA	<0.25	NA
TMB	<10.00	<0.40	<0.44	<0.44	NA	<0.44	NA
X	<5.00	<0.50	<0.39	<0.39	NA	<0.39	NA
N	<8.00	<0.25	<0.50	<0.50	NA	<0.50	NA
DO	0.23	0.22	0.98	0.72	0.32	0.62	2.8

Date:	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	[160]	[22]	[27]	[46]	[11.4]
E	[600]	[750]	[600]	[600]	[600]
T	16	7.8	29	24	6.5
TMB	[494]	[328]	[373]	[488]	[510]
X	[2,100]	[2,100]	[1,300]	[1,500]	[1,112]
N	[110]	[42]	[81]	[80]	[100]
DO	0.83	0.64	0.22	0.49	2.0

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.500	<0.20	<0.25	<0.25	NA	<0.25	NA
E	<5.00	<0.50	<0.22	<0.22	NA	<0.22	NA
T	<5.00	<0.20	<0.25	<0.25	NA	<0.25	NA
TMB	<10.00	<0.40	<0.44	<0.44	NA	<0.44	NA
X	<5.00	<0.50	<0.39	<0.39	NA	<0.39	NA
N	<8.00	<0.25	<0.50	<0.50	NA	<0.50	NA
DO	0.25	0.0	1.36	0.71	0.42	0.58	3.4

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.500	<0.20	<0.25	<0.25	NA	<0.25	NA
E	<5.00	<0.50	<0.22	<0.22	NA	<0.22	NA
T	<5.00	<0.20	<0.25	<0.25	NA	<0.25	NA
TMB	<10.00	<0.40	<0.44	<0.44	NA	<0.44	NA
X	<5.00	<0.50	<0.39	<0.39	NA	<0.39	NA
N	<8.00	<0.25	<0.50	<0.50	NA	<0.50	NA
DO	0.23	0.39	0.78	0.57	0.80	0.52	4.0

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	[1,230]	[600]	[310]	[68]	[410]	[190]	[175]
E	[1,380]	[620]	[1,500]	[1,000]	[1,100]	[920]	[1,310]
T	<250	7.3	60	17	26	9.8	26.4
TMB	[1,170]	[576]	[1,278]	[780]	[931]	[593.9]	[1,020]
X	[3,390]	[850]	[1,800]	[1,200]	[1,300]	[1,000]	[1,401.7]
N	[222]	[68]	[170]	[180]	[110]	[110]	[199]
DO	0.20	0.19	0.84	0.50	0.24	0.42	1.9

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.500	<0.20	<0.25	<0.25	NA	<0.25	NA
E	<5.00	<0.50	<0.22	<0.22	NA	<0.22	NA
T	<5.00	<0.20	<0.25	<0.25	NA	<0.25	NA
TMB	<10.00	<0.40	<0.44	<0.44	NA	<0.44	NA
X	<5.00	<0.50	<0.39	<0.39	NA	<0.39	NA
N	<8.00	<0.25	<0.50	<0.50	NA	<0.50	NA
DO	0.24	0.44	0.96	0.69	0.51	0.61	6.0

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	[708]	FP	[410]	[78]	[250]	[140]	[178]
E	[765]	FP	[2,100]	[710]	[740]	[1,200]	[1,220]
T	<250	FP	9.6	9.6	21	18	47
TMB	[1,002]	FP	[3,690]	[3,600]	[2,290]	[1,810]	[3,100]
X	[2,170]	FP	[5,400]	[2,600]	[1,800]	[1,800]	[2,510]
N	[202]	FP	[350]	[240]	[260]	[330]	[360]
DO	0.19	NA	0.32	0.23	0.13	0.25	0.3

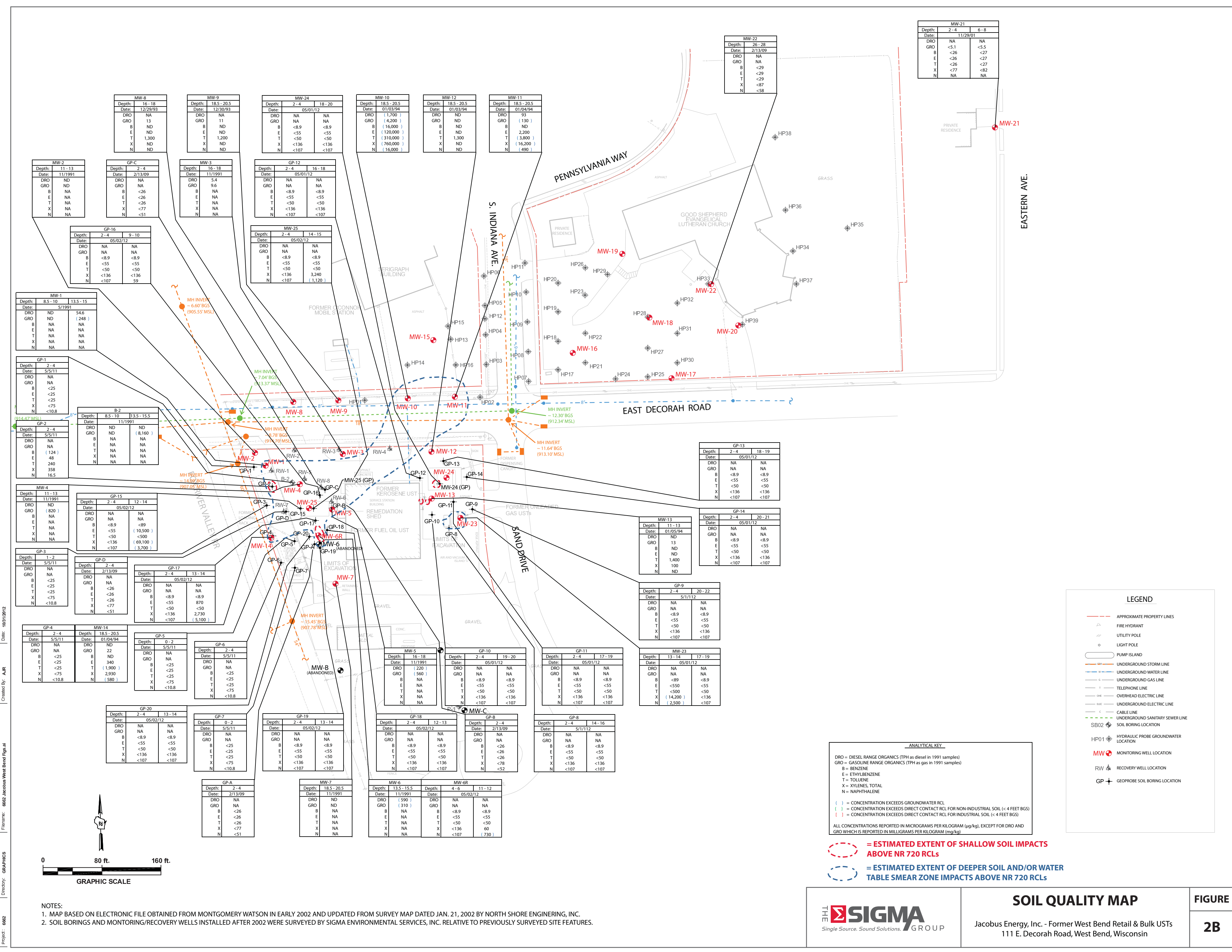
Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	FP	[4,200]	[580]	[510]	[1,000]	[1,680]	[1,680]
E	FP	[2,600]	[1,800]	[1,400]	[2,200]	[2,100]	[2,100]
T	FP	[410]	61	38	[180]	[210]	[221]
TMB	FP	[3,160]	[3,490]	[2,590]	[2,750]	[3,020]	[3,120]
X	FP	[18,000]	[11,000]	[6,900]	[9,100]	[8,400]	[8,794]
N	FP	[670]	[520]	[330]	[440]	[450]	[540]
DO	NA	0.17	0.35	0.48	0.13	0.42	2.0

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.500	<0.20	<0.25	<0.25	NA	<0.25	NA
E	<5.00	<0.50	<0.22	<0.22	NA	<0.22	NA
T	<5.00	<0.20	<0.25	<0.25	NA	<0.25	NA
TMB	<10.00	<0.40	<0.44	<0.44	NA	<0.44	NA
X	<5.00	<0.50	<0.39	<0.39	NA	<0.39	NA
N	<8.00	<0.25	<0.50	<0.50	NA	<0.50	NA
DO	0.27	0.67	0.77	0.48	0.53	0.36	3.0

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.5	NA	<0.25	<0.25	NA	<0.25	NA
E	<0.78	NA	<0.22	<0.22	NA	<0.22	NA
T	<0.53	NA	<0.25	<0.25	NA	<0.25	NA
TMB	<1.54	NA	<0.40	<0.44	NA	<0.44	NA
X	<1.9	NA	<0.39	<0.39	NA	<0.39	NA
N	<2.1	NA	<0.50	<0.50	NA	<0.50	NA
DO	7.5	NA	0.54	0.53	0.18	0.40	1.2

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.500	<0.20	<0.25	<0.25	NA	<0.25	NA
E	<5.00	<0.50	<0.22	<0.22	NA	<0.22	NA
T	<5.00	<0.20	<0.25	<0.25	NA	<0.25	NA
TMB	<10.00	<0.40	<0.44	<0.44	NA	<0.44	NA
X	<5.00	<0.50	<0.39	<0.39	NA	<0.39	NA
N	<8.00	<0.25	<0.50	<0.50	NA	<0.50	NA
DO	0.23	0.52	0.54	0.53	0.18	0.40	1.2

Date:	12/30/03	4/13/06	2/25/09	3/21/11	8/4/11	11/4/11	6/7/12
B	<0.500	<0.20	<0.25	<0.25	NA	<0.25	NA
E	<5.00	<0.50	<0.22	<0.22	NA	<0.22	NA
T	<5.00	<0.20	<0.25	<0.25	NA	<0.25	NA
TMB	<10.00	<0.40	<0.44	<0.44	NA	<0.44	NA
X	<5.00	<0.50	<0.39	<0.39	NA	<0.39	NA
N	<8.00	<0.25	<0.50	<0.50	NA	<0.50	NA
DO	0.23	0.52	0.54	0.53	0.18	0.40	1.2



MW-21		
Depth:	2 - 4	6 - 8
Date:	11/29/01	NA
DRO	NA	NA
GRO	<5.1	<5.5
B	<26	<27
E	<26	<27
T	<26	<27
X	<77	<82
N	NA	NA

MW-22		
Depth:	26 - 28	
Date:	2/13/09	
DRO	NA	
GRO	(130)	
B	ND	
E	2,200	
T	(3,800)	
X	(16,200)	
N	(490)	

GP-13		
Depth:	2 - 4	18 - 19
Date:	05/01/12	
DRO	NA	NA
GRO	NA	NA
B	<8.9	<8.9
E	<55	<55
T	<50	<50
X	<136	<136
N	<107	<107

GP-9		
Depth:	2 - 4	20 - 22
Date:	5/1/12	
DRO	NA	NA
GRO	NA	NA
B	<8.9	<8.9
E	<55	<55
T	<50	<50
X	<136	<136
N	<107	<107

MW-23		
Depth:	13 - 14	17 - 19
Date:	05/01/12	
DRO	NA	NA
GRO	NA	NA
B	<8.9	<8.9
E	<55	<55
T	<50	<50
X	(14,200)	<136
N	(2,500)	<107

LEGEND

- APPROXIMATE PROPERTY LINES
- ▲ FIRE HYDRANT
- UTILITY POLE
- LIGHT POLE
- PUMP ISLAND
- UNDERGROUND STORM LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- TELEPHONE LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- CABLE LINE
- UNDERGROUND SANITARY SEWER LINE
- SB02 SOIL BORING LOCATION
- HP01 HYDRAULIC PROBE GROUNDWATER LOCATION
- MW MONITORING WELL LOCATION
- RW RECOVERY WELL LOCATION
- GP GEOPROBE SOIL BORING LOCATION

ANALYTICAL KEY

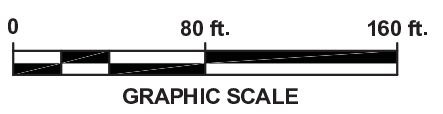
DRO = DIESEL RANGE ORGANICS (TPH as diesel in 1991 samples)
 GRO = GASOLINE RANGE ORGANICS (TPH as gas in 1991 samples)

B = BENZENE
 E = ETHYLBENZENE
 T = TOLUENE
 X = XYLENES, TOTAL
 N = NAPHTHALENE

() = CONCENTRATION EXCEEDS GROUNDWATER RCL
 () = CONCENTRATION EXCEEDS DIRECT CONTACT RCL FOR NON-INDUSTRIAL SOIL (< 4 FEET BGS)
 () = CONCENTRATION EXCEEDS DIRECT CONTACT RCL FOR INDUSTRIAL SOIL (< 4 FEET BGS)

ALL CONCENTRATIONS REPORTED IN MICROGRAMS PER KILOGRAM (µg/kg), EXCEPT FOR DRO AND GRO WHICH IS REPORTED IN MILLIGRAMS PER KILOGRAM (mg/kg)

- ESTIMATED EXTENT OF SHALLOW SOIL IMPACTS ABOVE NR 720 RCLS
- ESTIMATED EXTENT OF DEEPER SOIL AND/OR WATER TABLE SMEAR ZONE IMPACTS ABOVE NR 720 RCLS



NOTES:
 1. MAP BASED ON ELECTRONIC FILE OBTAINED FROM MONTGOMERY WATSON IN EARLY 2002 AND UPDATED FROM SURVEY MAP DATED JAN. 21, 2002 BY NORTH SHORE ENGINEERING, INC.
 2. SOIL BORINGS AND MONITORING/RECOVERY WELLS INSTALLED AFTER 2002 WERE SURVEYED BY SIGMA ENVIRONMENTAL SERVICES, INC. RELATIVE TO PREVIOUSLY SURVEYED SITE FEATURES.

Single Source. Sound Solutions.

SOIL QUALITY MAP

Jacobus Energy, Inc. - Former West Bend Retail & Bulk USTs
 111 E. Decorah Road, West Bend, Wisconsin

FIGURE
2B

Project: 6662
 Filename: 6662_Jacobus West Bend Retail & Bulk USTs
 Date: 10/31/2012
 Created By: AAR
 Directory: GRAPHICS

APPENDIX B - DECORAH FLATS DESIGN DRAWINGS

Proposed Development:

Decorah Flats

Sand Drive and Decorah Road
City of West Bend, Washington County



AMERICAN
ARCHITECTURAL GROUP, INC.



3350 SOUTH RIVER ROAD
WEST BEND, WI 53095-7884
(262) 334-3811 FAX: (262) 334-4990

AMERICAN
CONSTRUCTION SERVICES, INC.



3350 SOUTH RIVER ROAD
WEST BEND, WI 53095-7884
(262) 334-3811 FAX: (262) 334-4990

Stamp



BUILDING DATA AND CODE INFORMATION:

3-STORY APARTMENT BLDG:	86,970 SF
UNDERGROUND PARKING:	28,990 SF
70 PARKING STALLS	
50 TOTAL ONSITE PARKING STALLS	
1ST FLOOR:	28,990 SF
LOBBY & AMENITIES	
TOTAL ROOMS:	24
1-BEDROOM UNITS	20
2-BEDROOM UNITS	4
2ND FLOOR:	28,990 SF
TOTAL ROOMS:	27
1-BEDROOM UNITS	23
2-BEDROOM UNITS	4
3RD FLOOR:	28,990 SF
TOTAL ROOMS:	27
1-BEDROOM UNITS	23
2-BEDROOM UNITS	4
TOTAL ROOMS:	78 (100%)
1-BEDROOM UNITS:	66 (85%)
2-BEDROOM UNITS:	12 (15%)

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GENERAL	
G-101	TITLE SHEET
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C1.02	PROPOSED SITE PLAN
C1.03	EROSION CONTROL PLAN
C1.04	GRADING PLAN
C1.05	UTILITY PLAN
C1.06	LANDSCAPE PLAN
C1.07	LIGHTING PLAN
ARCHITECTURAL	
A-101	PROPOSED PARKING GARAGE PLAN
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A-106	UNIT PLANS
A-107	UNIT PLANS
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS

PROJECT TEAM

OWNER:	Brendan Sullivan Decorah Flats 5217 Little Cedar Lane West Bend, WI 53095 PH: (404) 655-7883 EMAIL: brendan@mdg.one
ARCHITECT:	Adam Hertel American Architectural Group, Inc. 3350 South River Road West Bend, WI 53095 PH: (262) 334-3811 EMAIL: adam@teamaag.net
CIVIL:	Kevin Parish Parish Survey & Engineering 122 Wisconsin Street West Bend, WI 53095 PH: (262) 346-7800 EMAIL: kparish@parishse.com

Issue Date:
02 / 02 / 2024

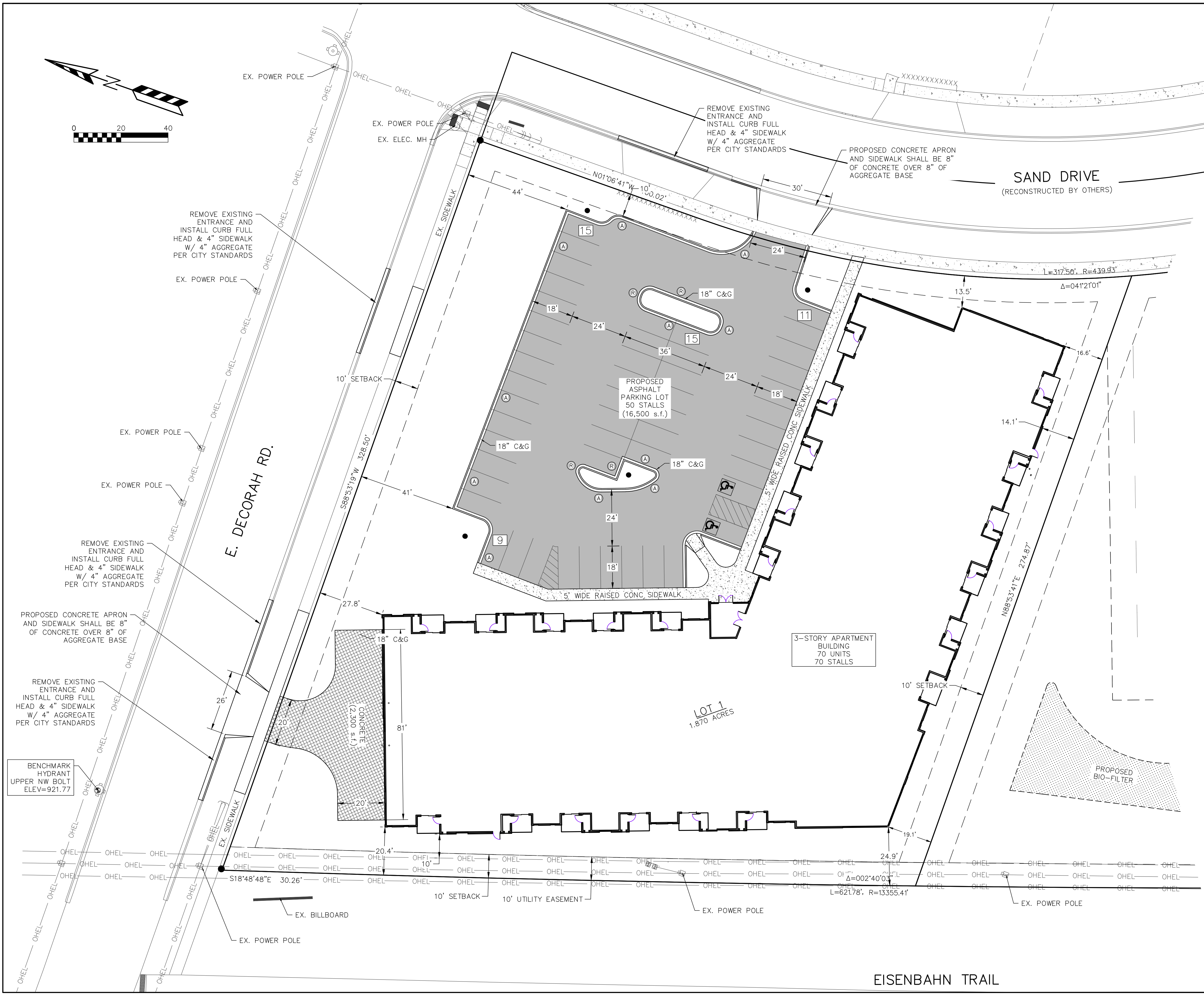
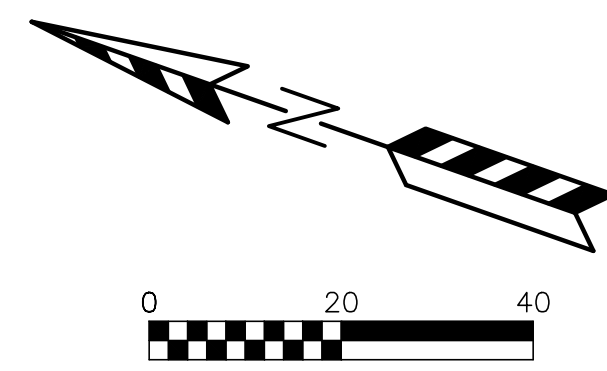
Revision:

Project Number:
23014

Sheet Title:
TITLE SHEET

Sheet Number:

G-101



- LEGEND:**
- (P) - PARKING STALLS IN A ROW
 - (R) - REJECT CURB
 - (A) - ACCEPT CURB

- PAVING LEGEND**
- ASPHALT PAVEMENT
8" CRUSHED AGGREGATE BASE COURSE
2 1/4" ASPHALTIC BINDER 3 LT 58-28 S
1 3/4" ASPHALTIC SURFACE 4 LT 58-28 S
 - CONCRETE PAVEMENT
8" CRUSHED AGGREGATE BASE COURSE
8" CONCRETE w/ 6x6 #6 WELDED WIRE MESH
 - CONCRETE SIDEWALK
6" CRUSHED AGGREGATE BASE COURSE
4" CONCRETE

SITE INFORMATION BLOCK

Site Address:	103 E Decorah Road
Legal Description:	Lot 1
Site Acreage	1.870 Acres
Current Zoning:	MXD
Building & Paving Setback Requirements	
	Building Pavement
Front	10 feet 10 feet
Side	10 feet 5 feet
Rear	0 feet 5 feet

Parking	
Surface Stalls	50
Underground Stalls	70
Total	120

Existing Site Areas		
Description	Area (sf)	% Impervious
Building	12,983	15.94
Asphalt/Concrete	35,328	43.37
Gravel	11,051	13.57
Impervious	59,362	72.88
Lawn	22,086	27.12
Total	81,448	100.00

Proposed Site Areas		
Description	Area (sf)	% Impervious
Building	33,363	40.96
Asphalt/Concrete	20,299	24.92
Impervious	53,662	65.88
Lawn	27,786	34.12
Total	81,448	100.00

- SITE PLAN NOTES:**
- DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - WHERE CURB ENDS AT STREET CONNECTIONS SMOOTHLY TRANSITION FROM FULL CURB HEIGHT TO ZERO CURB HEIGHT WITHIN A 3' LENGTH.
 - ALL STRIPING AND SIGNAGE SHALL COMPLY WITH THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

REVISIONS:

NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX



PROJECT TITLE:
SAND DRIVE DEVELOPMENT
103 E. DECORAH ROAD
WEST BEND, WI 53095

PLAN TITLE:
PROPOSED
SITE PLAN

DRAWN BY:
KJP
DESIGNED BY:
KJP
CHECKED BY:
KJP

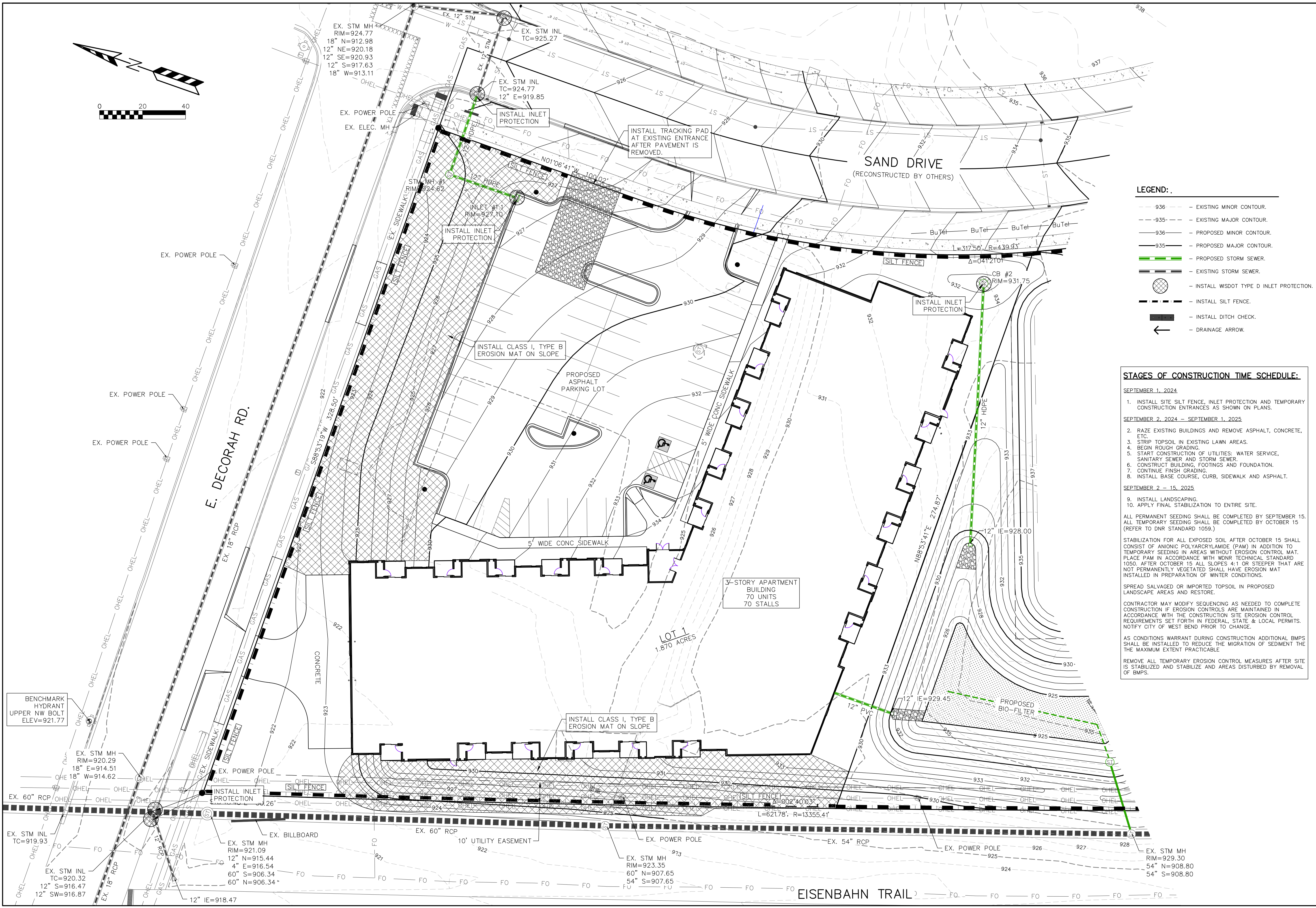
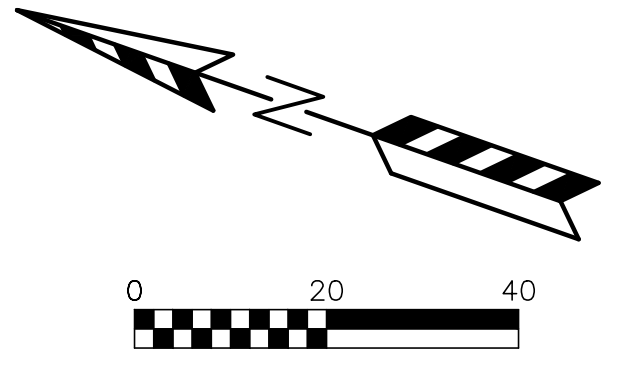
PLAN DATE:
2.02.2024

PROJECT NO.:
\\JE-06-22\

PRELIMINARY

SHEET NO.:
C1.02

EISENBahn TRAIL



LEGEND:

- - - 936 - - - EXISTING MINOR CONTOUR.
- - - 935 - - - EXISTING MAJOR CONTOUR.
- - - 936 - - - PROPOSED MINOR CONTOUR.
- - - 935 - - - PROPOSED MAJOR CONTOUR.
- - - 936 - - - PROPOSED STORM SEWER.
- - - 935 - - - EXISTING STORM SEWER.
- - - - INSTALL WSDOT TYPE D INLET PROTECTION.
- - - - - INSTALL SILT FENCE.
- - - - - INSTALL DITCH CHECK.
- - - - DRAINAGE ARROW.

STAGES OF CONSTRUCTION TIME SCHEDULE:

SEPTEMBER 1, 2024

1. INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS.

SEPTEMBER 2, 2024 - SEPTEMBER 1, 2025

2. RAZE EXISTING BUILDINGS AND REMOVE ASPHALT, CONCRETE, ETC.
3. STRIP TOPSOIL IN EXISTING LAWN AREAS.
4. BEGIN ROUGH GRADING.
5. START CONSTRUCTION OF UTILITIES: WATER SERVICE, SANITARY SEWER AND STORM SEWER.
6. CONSTRUCT BUILDING, FOOTINGS AND FOUNDATION.
7. CONTINUE FINISH GRADING.
8. INSTALL BASE COURSE, CURB, SIDEWALK AND ASPHALT.

SEPTEMBER 2 - 15, 2025

9. INSTALL LANDSCAPING.
10. APPLY FINAL STABILIZATION TO ENTIRE SITE.

ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15. ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)

STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH MNR TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.

SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE.

CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY CITY OF WEST BEND PRIOR TO CHANGE.

AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPs SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE THE MAXIMUM EXTENT PRACTICABLE

REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL OF BMPs.

REVISIONS:

NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX



PROJECT TITLE:

**SAND DRIVE DEVELOPMENT
103 E. DECORAH ROAD
WEST BEND, WI 53095**

PLAN TITLE:

EROSION CONTROL PLAN

DRAWN BY: KJP

DESIGNED BY: KJP

CHECKED BY: KJP

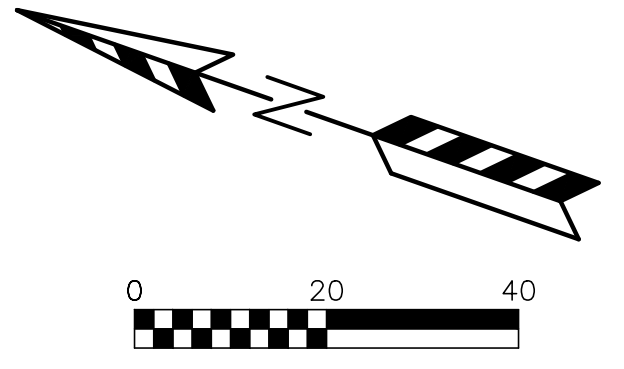
PLAN DATE: 2.02.2024

PROJECT NO: \JE-06-22\

PRELIMINARY

SHEET NO:

C1.03



LEGEND:

- - - 936 - - - EXISTING MINOR CONTOUR.
- - - 935 - - - EXISTING MAJOR CONTOUR.
- - - 936 - - - PROPOSED MINOR CONTOUR.
- - - 935 - - - PROPOSED MAJOR CONTOUR.
- EX 934.23 - EXISTING SPOT ELEVATION.
- 934.23 - PROPOSED CURB FLANGE/TOP OF CONCRETE ELEVATION.
- TC 934.23 - PROPOSED TOP OF CURB ELEVATION.
- SW 934.23 - PROPOSED SIDEWALK ELEVATION.
- FFE 934.23 - PROPOSED BUILDING FIRST FLOOR ELEVATION.
- TFE 934.23 - PROPOSED TOP OF FOOTING ELEVATION.
- TW 934.23 - PROPOSED TOP OF RETAINING WALL ELEVATION.
- BW 934.23 - PROPOSED BOTTOM OF RETAINING WALL ELEVATION.
- - - - - PROPOSED STORM SEWER.
- - - - - EXISTING STORM SEWER.

NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX

PSE
 PARISH SURVEY & ENGINEERING
 122 Wisconsin Street, West Bend, WI 53095
 262.346.7800
 www.parishse.com

PROJECT TITLE:
SAND DRIVE APARTMENTS
103 E. DECORAH ROAD
WEST BEND, WI 53095

PLAN TITLE:
GRADING PLAN

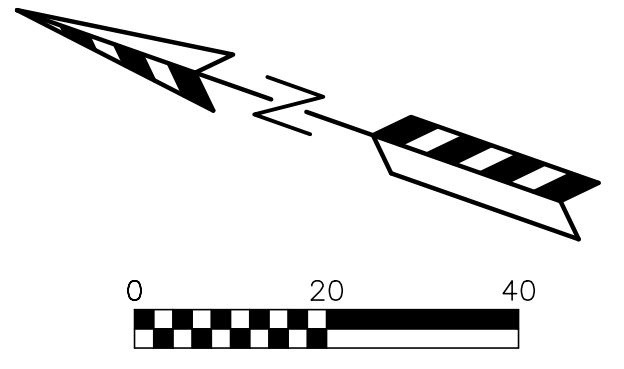
DRAWN BY:
KJP
 DESIGNED BY:
KJP
 CHECKED BY:
KJP

PLAN DATE:
2.02.2024

PROJECT NO:
 \JE-06-22\

PRELIMINARY

SHEET NO:
C1.04



EX. SAN MH
RIM=924.71
12" N=912.26
4" SE=918.26

EX. HYDRANT
EX. STM MH
RIM=924.77
18" N=912.98
12" NE=920.18
12" SE=920.93
12" S=917.63
18" W=913.11

EX. STM INL
TC=925.27

EX. STM INL
TC=924.77
12" E=919.85

STM MH #1
RIM=924.62
12" E=920.58
12" S=921.12

INLET #1.1
RIM=927.10
12" N=923.77

SAND DRIVE
(RECONSTRUCTED BY OTHERS)

STORM SEWER CASTINGS:

STRUCTURE	STRUCTURE DIAMETER	NEENAH CASTING OR EQUIVALENT
STM MH #1	4' DIA.	R-1550
INLET #1.1	2' x 3'	R-3067
CB #2	3' DIA.	R-2510

LEGEND:

- OHEL — OHEL — OVERHEAD ELECTRIC LINE.
- BUL — BUL — BURIED ELECTRIC LINE.
- BUTel — BUTel — BURIED TELEPHONE LINE.
- FO — FO — FIBER OPTIC LINE.
- GAS — GAS — GAS LINE.
- SAN — SAN — SANITARY SEWER MAIN OR LATERAL.
- WAT — WAT — WATER MAIN OR SERVICE.
- — — — — STORM SEWER LINE.
- ⊗ — ⊗ — GAS VALVE.
- ⊙ — ⊙ — FIRE HYDRANT.
- ⊕ — ⊕ — POWER POLE.
- ⊙ — ⊙ — SANITARY SEWER MANHOLE.
- ⊙ — ⊙ — STORM SEWER MANHOLE.
- — □ — STORM SEWER INLET.
- ⊕ — ⊕ — TELEPHONE PEDESTAL.
- ⊕ — ⊕ — TRANSFORMER.
- ⊕ — ⊕ — WATER VALVE.
- SAN — SAN — PROPOSED SANITARY SEWER
- WAT — WAT — PROPOSED WATER MAIN
- — — — — PROPOSED STORM SEWER.
- GAS — GAS — PROPOSED GAS MAIN

REVISIONS:

NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX

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PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:
SAND DRIVE APARTMENTS
103 E. DECORAH ROAD
WEST BEND, WI 53095

PLAN TITLE:
UTILITY PLAN

DRAWN BY:
KJP

DESIGNED BY:
KJP

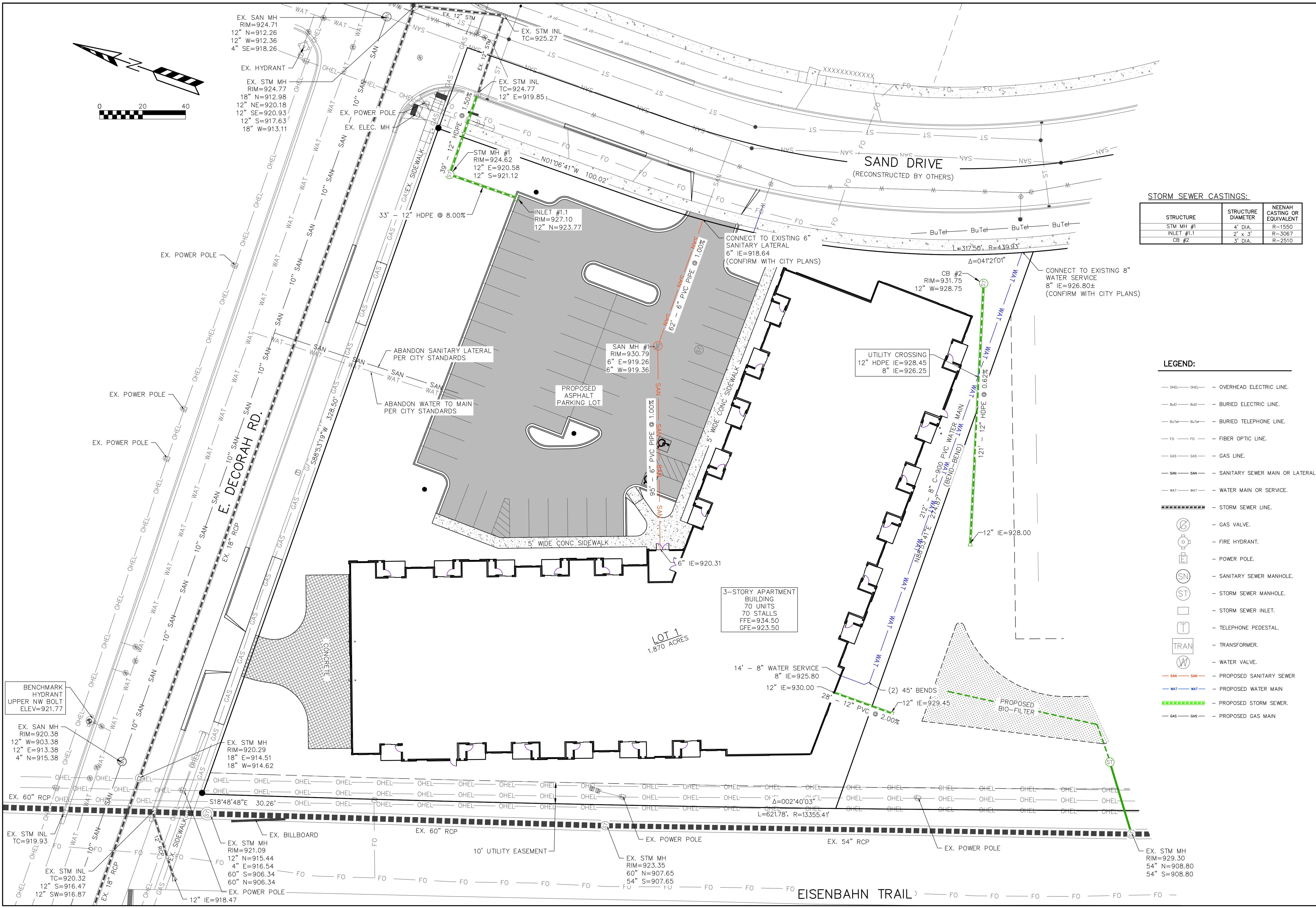
CHECKED BY:
KJP

PLAN DATE:
2.02.2024

PROJECT NO:
\JE-06-22

PRELIMINARY

SHEET NO:
C1.05





REVISIONS:

NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX

PROJECT TITLE:
**SAND DRIVE APARTMENTS
103 E. DECORAH ROAD WEST
BEND, WI 53095**

PLAN TITLE:
**LANDSCAPE
PLAN**

DRAWN BY:
KJP

DESIGNED BY:
KJP

CHECKED BY:
KJP

PLAN DATE:
2-02-2024

PROJECT NO:
\JE-06-22

PRELIMINARY

SHEET NO:
C1.06

PLANT LIST

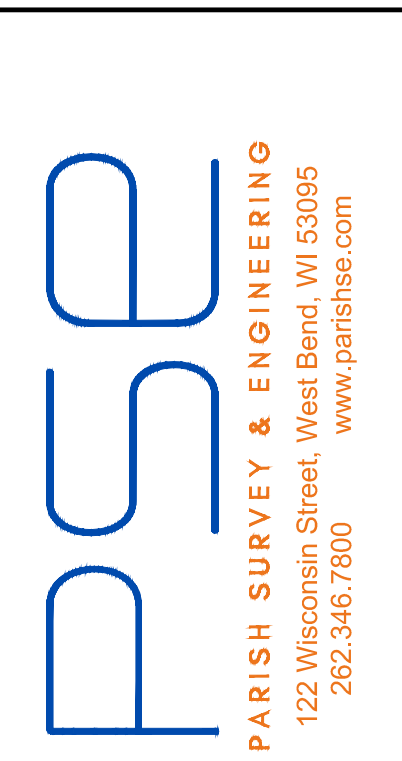
KEY	QTY	SIZE	COMMON NAME	ROOT
(13) CANOPY TREES				
ABM	2	2"	AUTUMN BLAZE MAPLE	BB
CH	3	2"	COMMON HACKBERRY	BB
QA	6	3"	QUAKING ASPEN	BB
SWO	2	2"	SWAMP WHITE OAK	BB
(6) LOW ORNAMENTAL TREES				
AC	3	3"	ADIRONDACK CRABAPPLE	BB
TSC	3	1 1/2"	TINA SARGENT CRAB	BB
(47) DECIDUOUS SHRUBS				
DN	8	24"	DIABLO NINEBARK	POT
GFS	18	18"	GOLD FLAME SPIREA	POT
AWS	21	18"	A. W. SPIREA	POT
(29) UPRIGHT EVERGREEN SHRUBS				
KCJ	29	1 G	KALLAY'S COMPACT JUNIPER	CON

NOTES:

- 1) DESIGNATED LAWN AREAS TO RECEIVE A MINIMUM OF 6" OF TOPSOIL, STARTER FERTILIZER, AND LOCALLY GROWN BLUEGRASS SOD.
- 2) PARKING LOT ISLANDS AND DESIGNATED PLANTING BEDS TO BE MULCHED WITH #2 WASHED STONE MULCH SPREAD TO A DEPTH OF 3" OVER WEED BARRIER FABRIC.
- 3) FOUNDATION PLANTING BEDS AND DESIGNATED PLANTING BEDS TO BE MULCHED WITH STONE MULCH SPREAD TO A DEPTH OF 3".
- 4) INDIVIDUAL TREES AND SHRUB GROUPINGS IN LAWN AREAS TO RECEIVE SHREDDED HARDWOOD BARK MULCH PLANT RINGS (4" DIAMETER) SPREAD TO A DEPTH OF 3".
- 5) DESIGNATED PLANTING BEDS TO BE SEPARATED FROM LAWN AREAS WITH 5" BLACK VINYL EDGING.
- 6) OWNER WILL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE AFTER COMPLETION AND ACCEPTANCE OF THE PROJECT.

REVISIONS:

NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX



PROJECT TITLE:
**SAND DRIVE APARTMENTS
103 E. DECORAH ROAD WEST
BEND, WI 53095**

PLAN TITLE:
**LANDSCAPE
PLAN**

DRAWN BY:
KJP

DESIGNED BY:
KJP

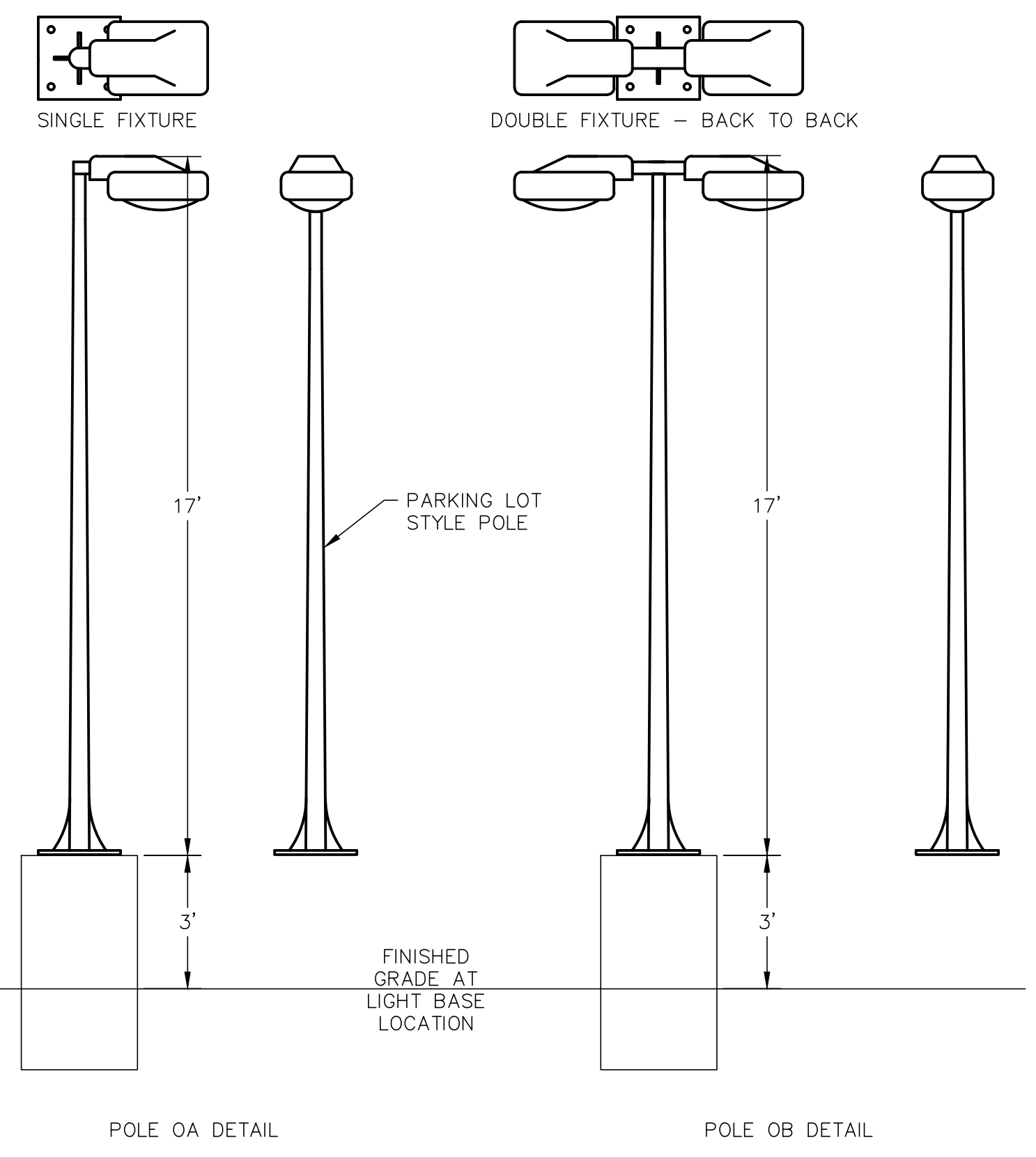
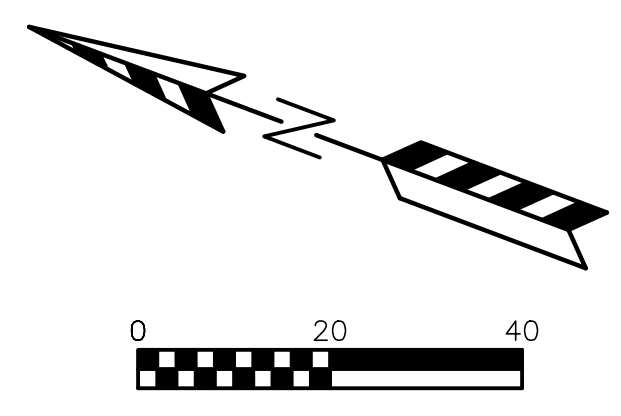
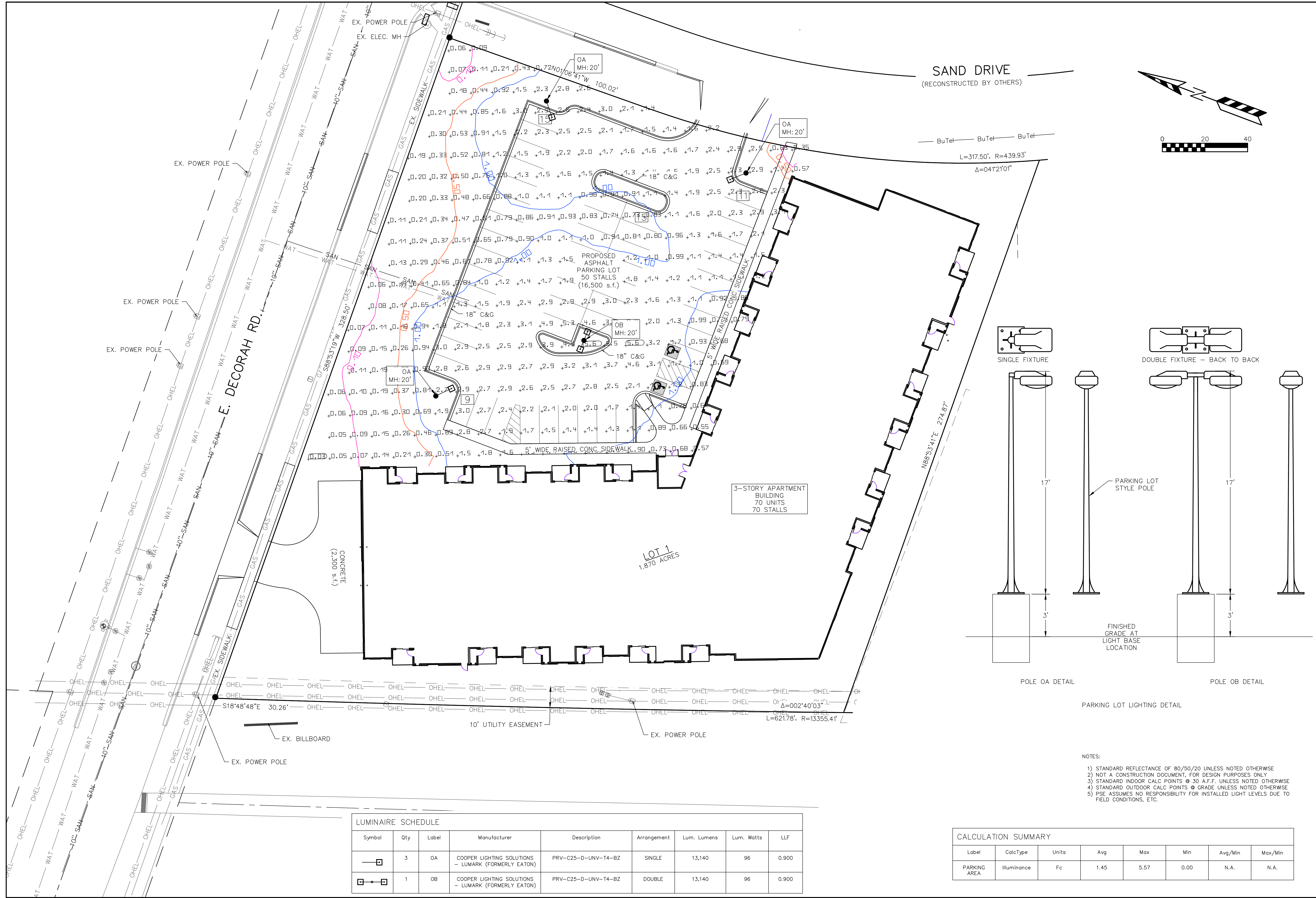
CHECKED BY:
KJP

PLAN DATE:
2-02-2024

PROJECT NO:
\JE-06-22

PRELIMINARY

SHEET NO:
C1.06



- NOTES:
- 1) STANDARD REFLECTANCE OF 80/50/20 UNLESS NOTED OTHERWISE
 - 2) NOT A CONSTRUCTION DOCUMENT, FOR DESIGN PURPOSES ONLY
 - 3) STANDARD INDOOR CALC POINTS @ 30 A.F.F. UNLESS NOTED OTHERWISE
 - 4) STANDARD OUTDOOR CALC POINTS @ GRADE UNLESS NOTED OTHERWISE
 - 5) PSE ASSUMES NO RESPONSIBILITY FOR INSTALLED LIGHT LEVELS DUE TO FIELD CONDITIONS, ETC.

LUMINAIRE SCHEDULE								
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF
	3	OA	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C25-D-UNV-T4-BZ	SINGLE	13,140	96	0.900
	1	OB	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C25-D-UNV-T4-BZ	DOUBLE	13,140	96	0.900

CALCULATION SUMMARY							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AREA	Illuminance	Fc	1.45	5.57	0.00	N.A.	N.A.

REVISIONS:	
NO.	DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

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 122 Wisconsin Street, West Bend, WI 53095
 262.346.7800 www.parishse.com

PROJECT TITLE:
**SAND DRIVE APARTMENTS
 103 E. DECORAH ROAD WEST
 BEND, WI 53095**

PLAN TITLE:
LIGHTING PLAN

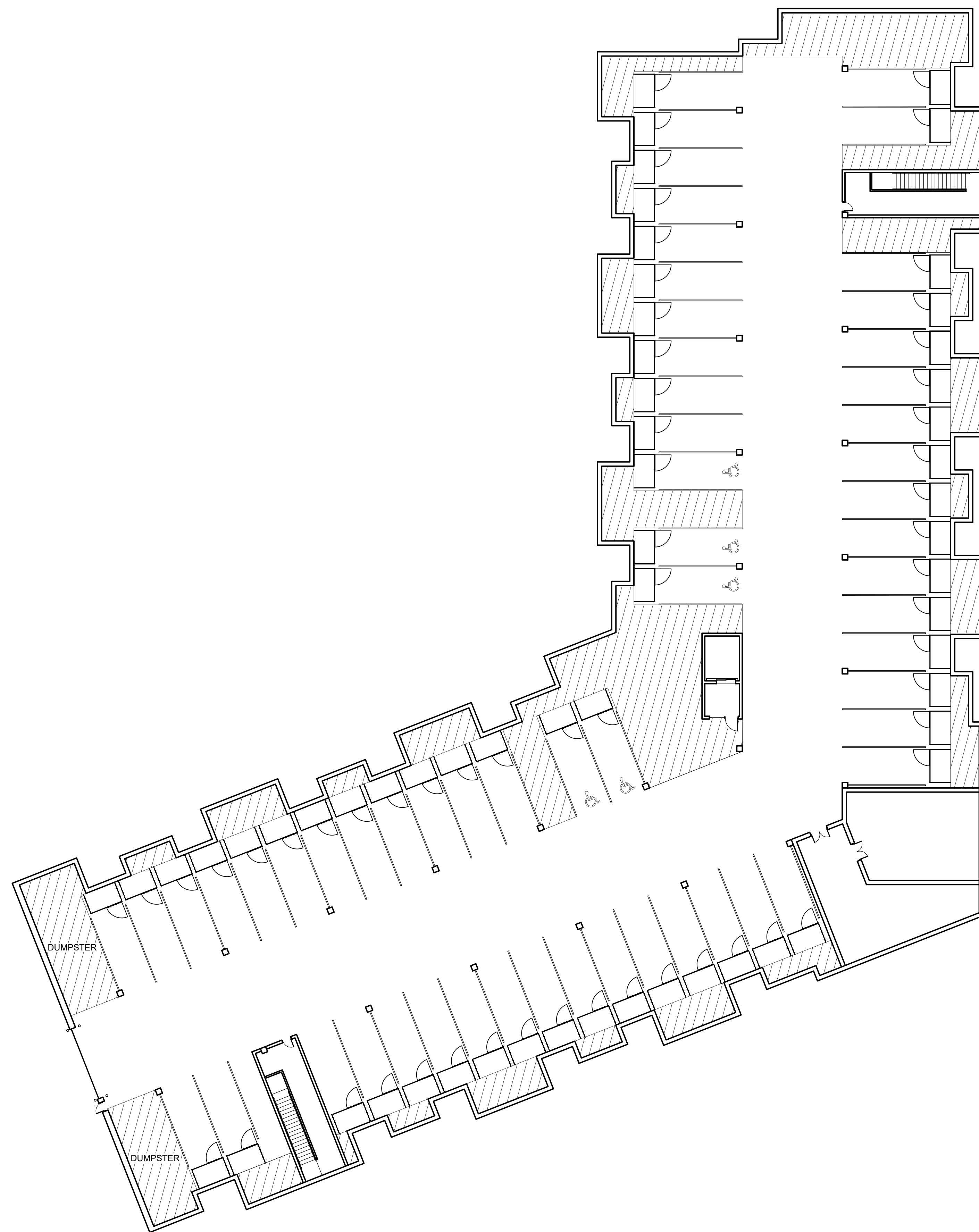
DRAWN BY:
KJP
 DESIGNED BY:
KJP
 CHECKED BY:
KJP

PLAN DATE:
2-02-2024

PROJECT NO:
 \JE-06-22\

PRELIMINARY

SHEET NO:
C1.07



PROPOSED BUILDING
DECORAH FLATS
Sand Drive and Decorah Road
City of West Bend, Washington County

Issue:
01 / 24 / 2024

Revision:

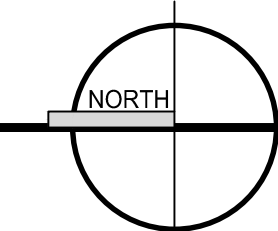
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23014

Sheet Title:
PROPOSED PARKING
GARAGE PLAN

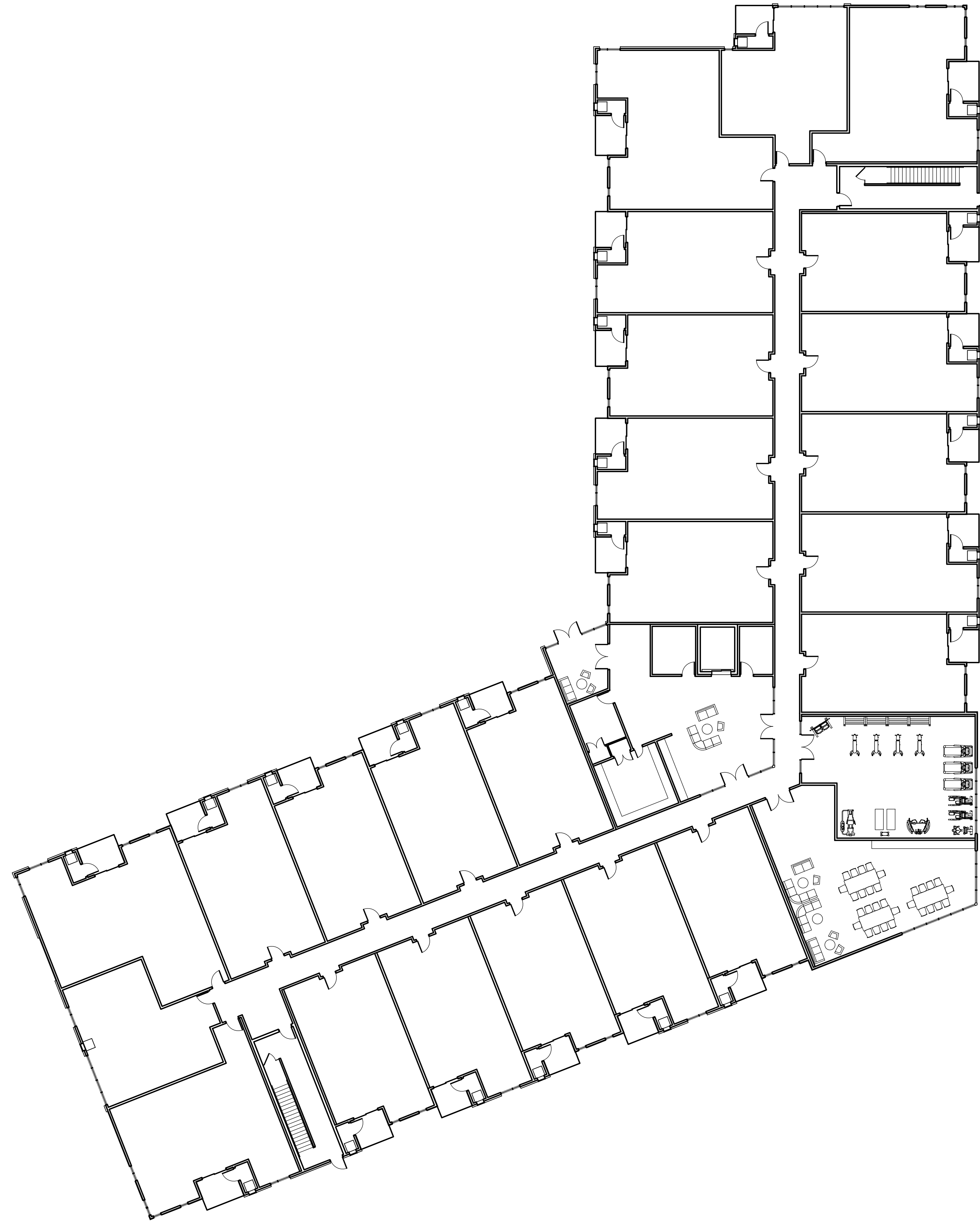
Sheet Number:

A-101

PROPOSED PARKING GARAGE PLAN



1/16" = 1'-0"



BUILDING INFORMATION

3-STORY APARTMENT BLDG: 86,970 SF

UNDERGROUND PARKING: 28,990 SF
70 PARKING STALLS

52 TOTAL ONSITE PARKING STALLS

1ST FLOOR:
LOBBY & AMENITIES 28,990 SF
TOTAL ROOMS: 24
1-BEDROOM UNITS 20
2-BEDROOM UNITS 4

2ND FLOOR: 28,990 SF
TOTAL ROOMS: 27
1-BEDROOM UNITS 23
2-BEDROOM UNITS 4

3RD FLOOR: 28,990 SF
TOTAL ROOMS: 27
1-BEDROOM UNITS 23
2-BEDROOM UNITS 4

TOTAL ROOMS: 78 (100%)
1-BEDROOM UNITS: 66 (85%)
2-BEDROOM UNITS: 12 (15%)

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PROPOSED BUILDING
DECORAH FLATS
Sand Drive and Decorah Road
City of West Bend, Washington County

Issue:
01 / 24 / 2024

Revision:

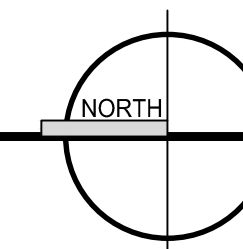
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Sheet Title:
PROPOSED FIRST
FLOOR PLAN

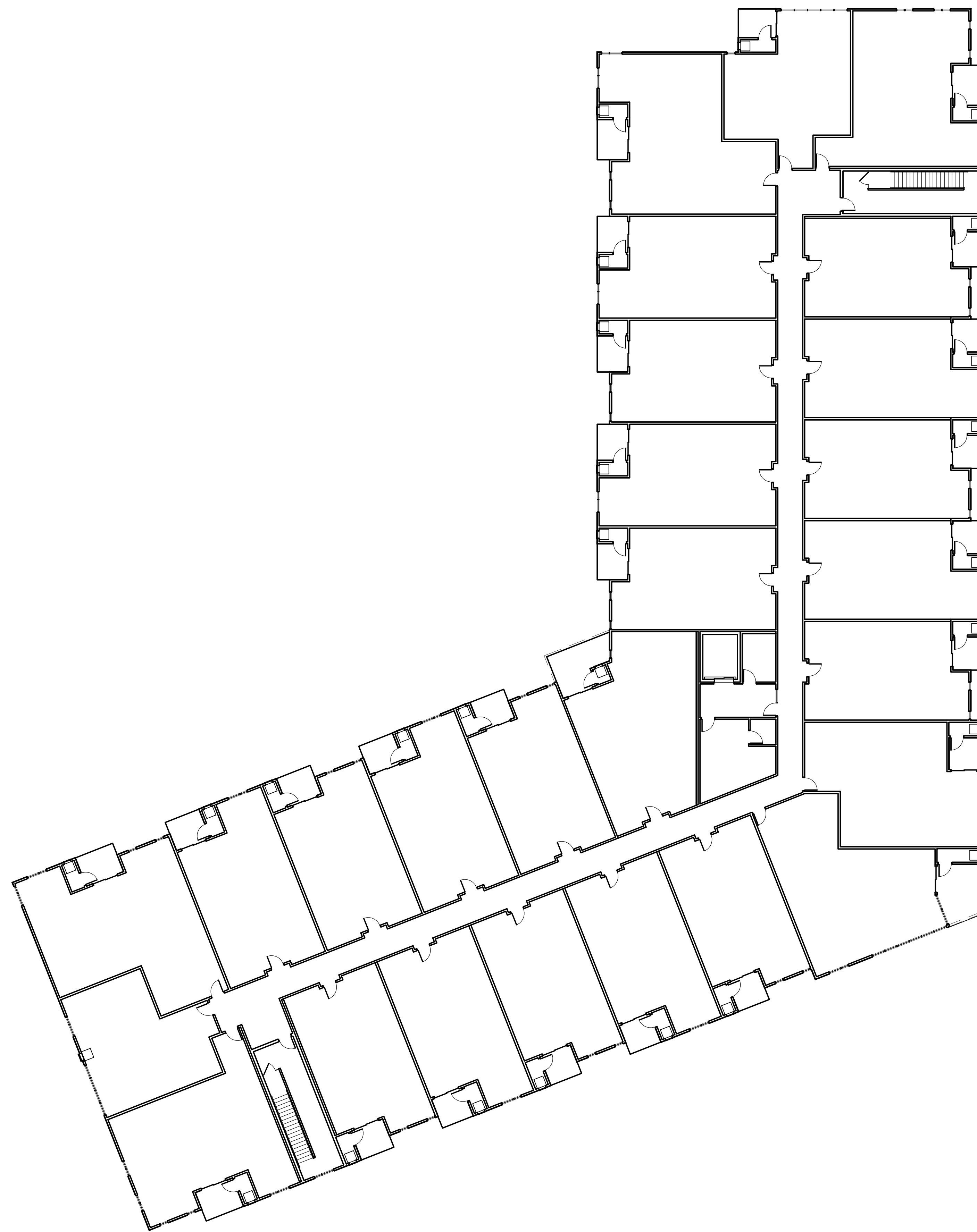
Sheet Number:

A-102

PROPOSED FIRST FLOOR PLAN



1/16" = 1'-0"



PROPOSED BUILDING
DECORAH FLATS
Sand Drive and Decorah Road
City of West Bend, Washington County

Issue:
01 / 24 / 2024

Revision:

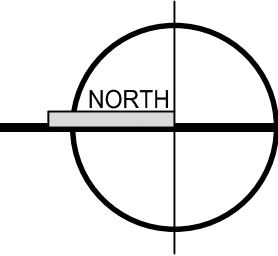
Project Number:
23014

Sheet Title:
PROPOSED SECOND
FLOOR PLAN

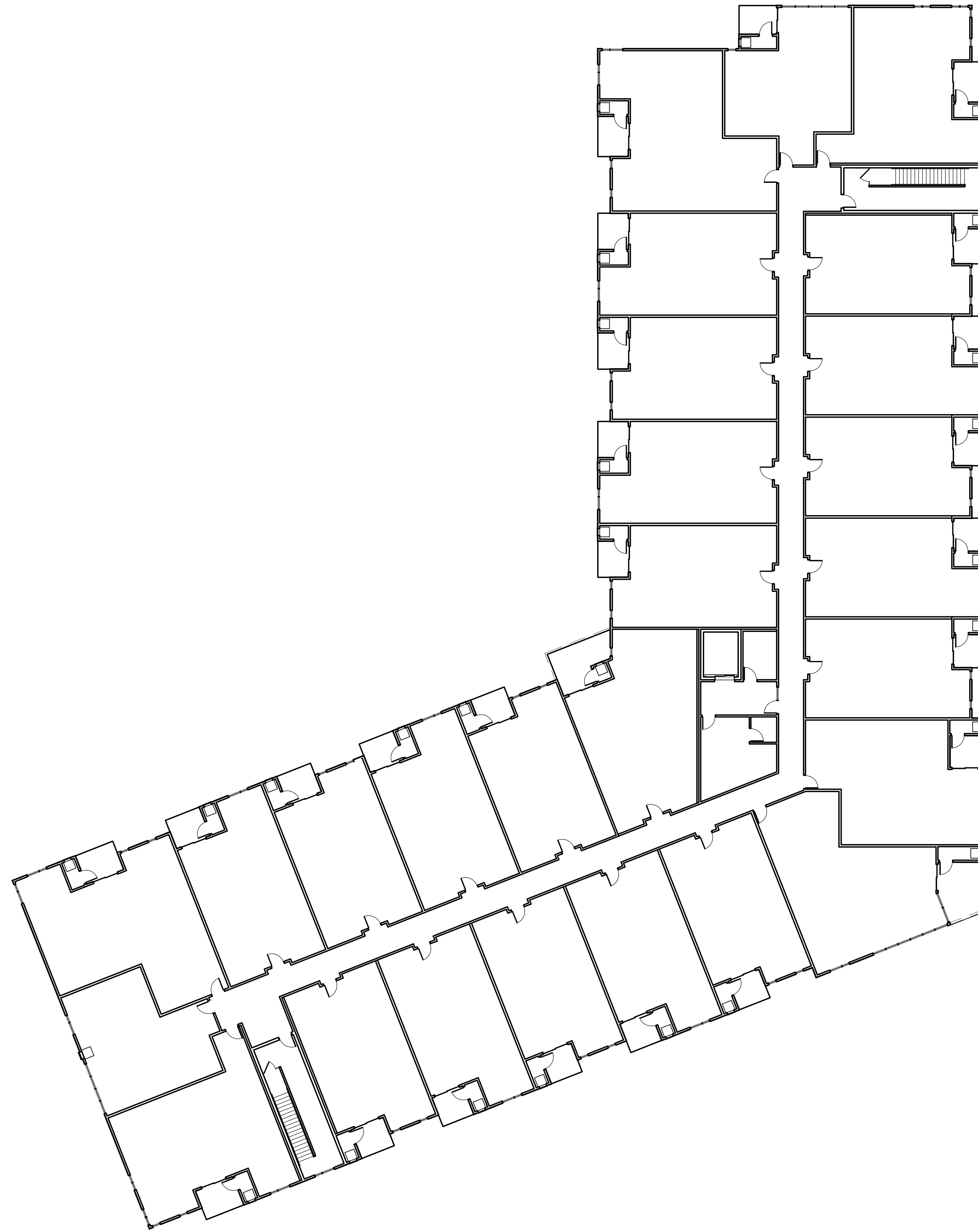
Sheet Number:

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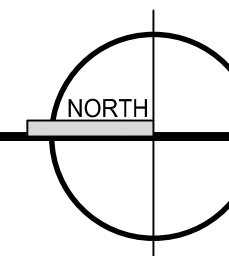
PROPOSED SECOND FLOOR PLAN



1/16" = 1'-0"



PROPOSED THIRD FLOOR PLAN



1/16" = 1'-0"

AMERICAN
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PROPOSED BUILDING
DECORAH FLATS
Sand Drive and Decorah Road
City of West Bend, Washington County

Issue:
01 / 24 / 2024

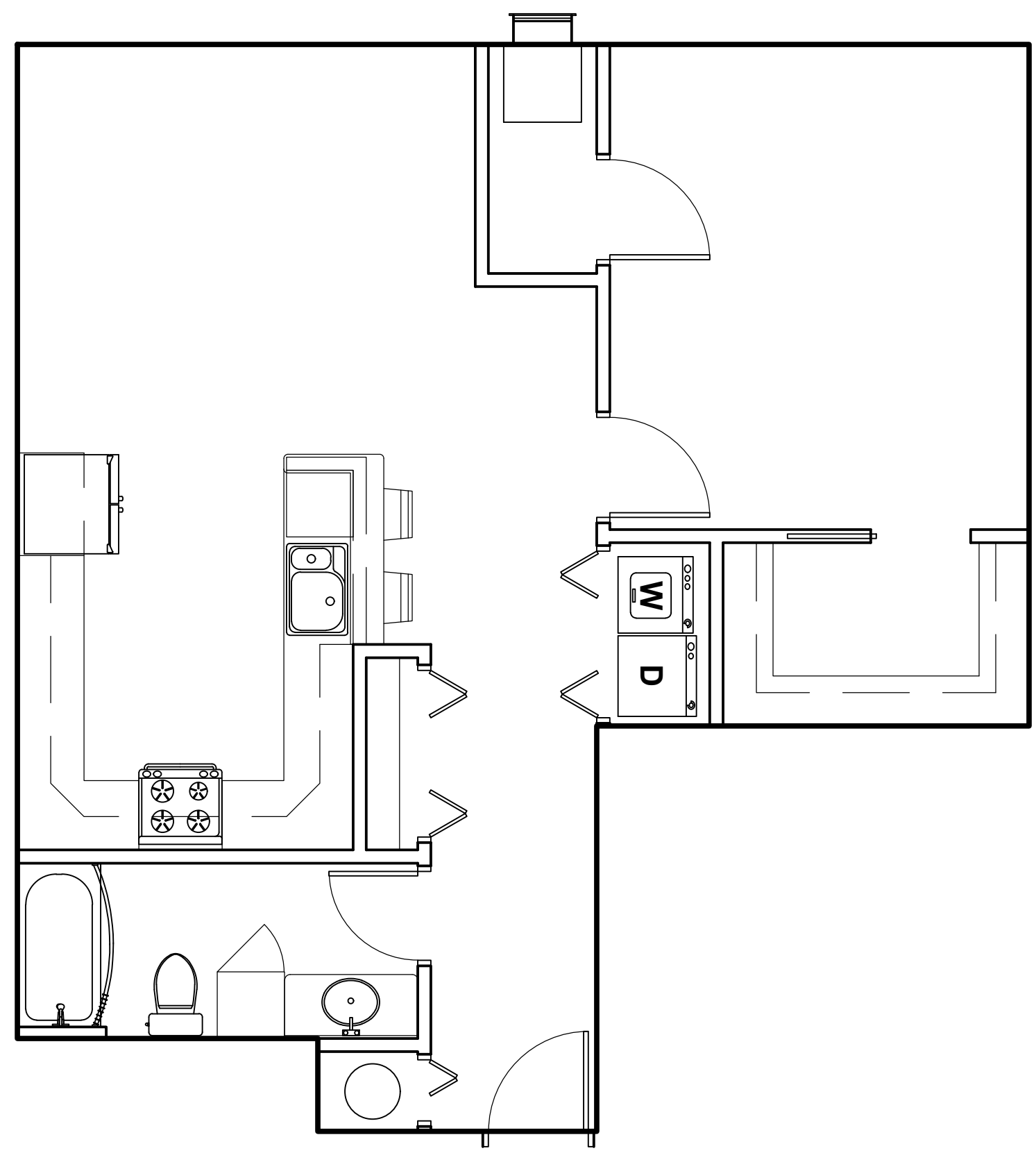
Revision:

Project Number:
23014

Sheet Title:
PROPOSED SECOND
FLOOR PLAN

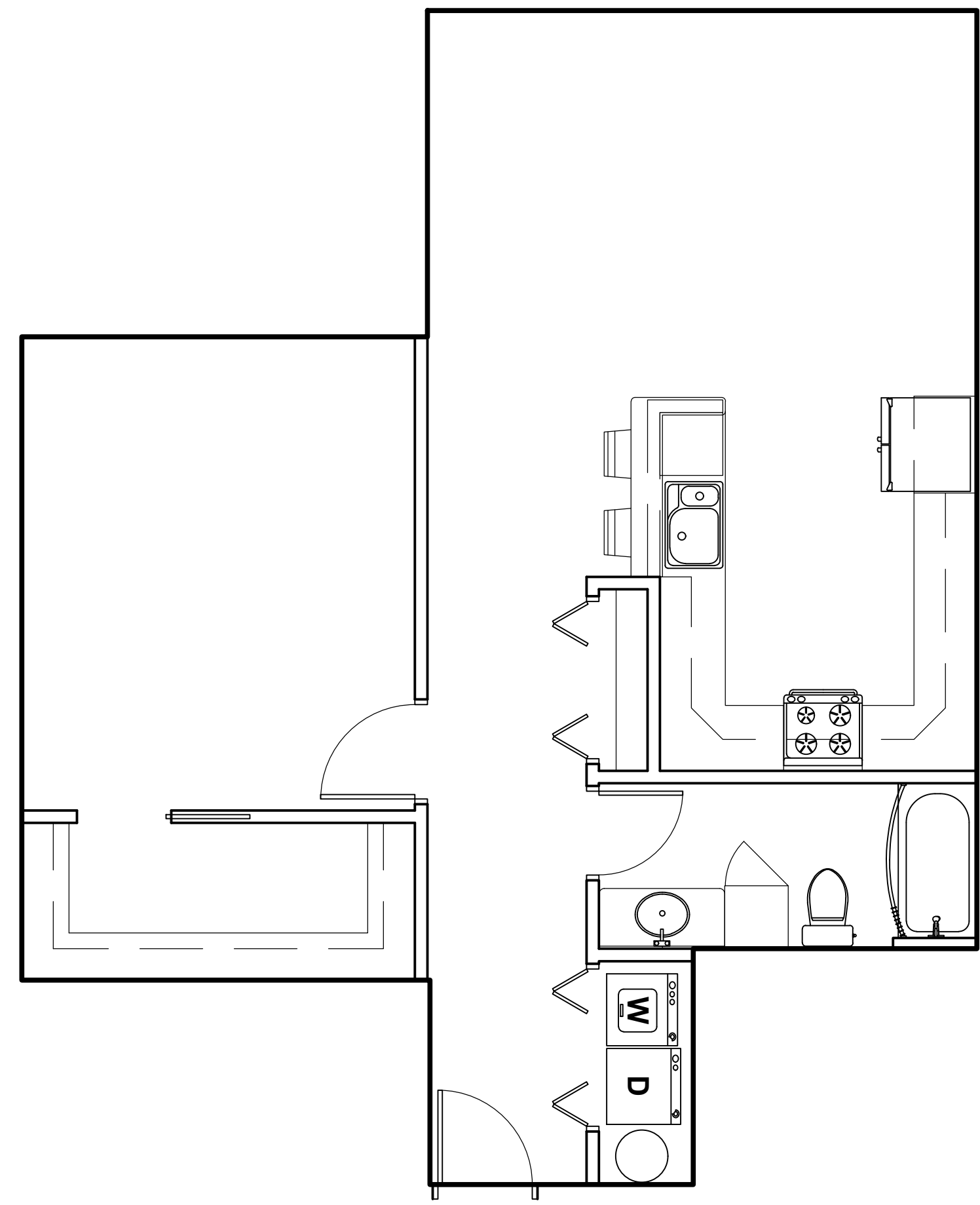
Sheet Number:

A-104



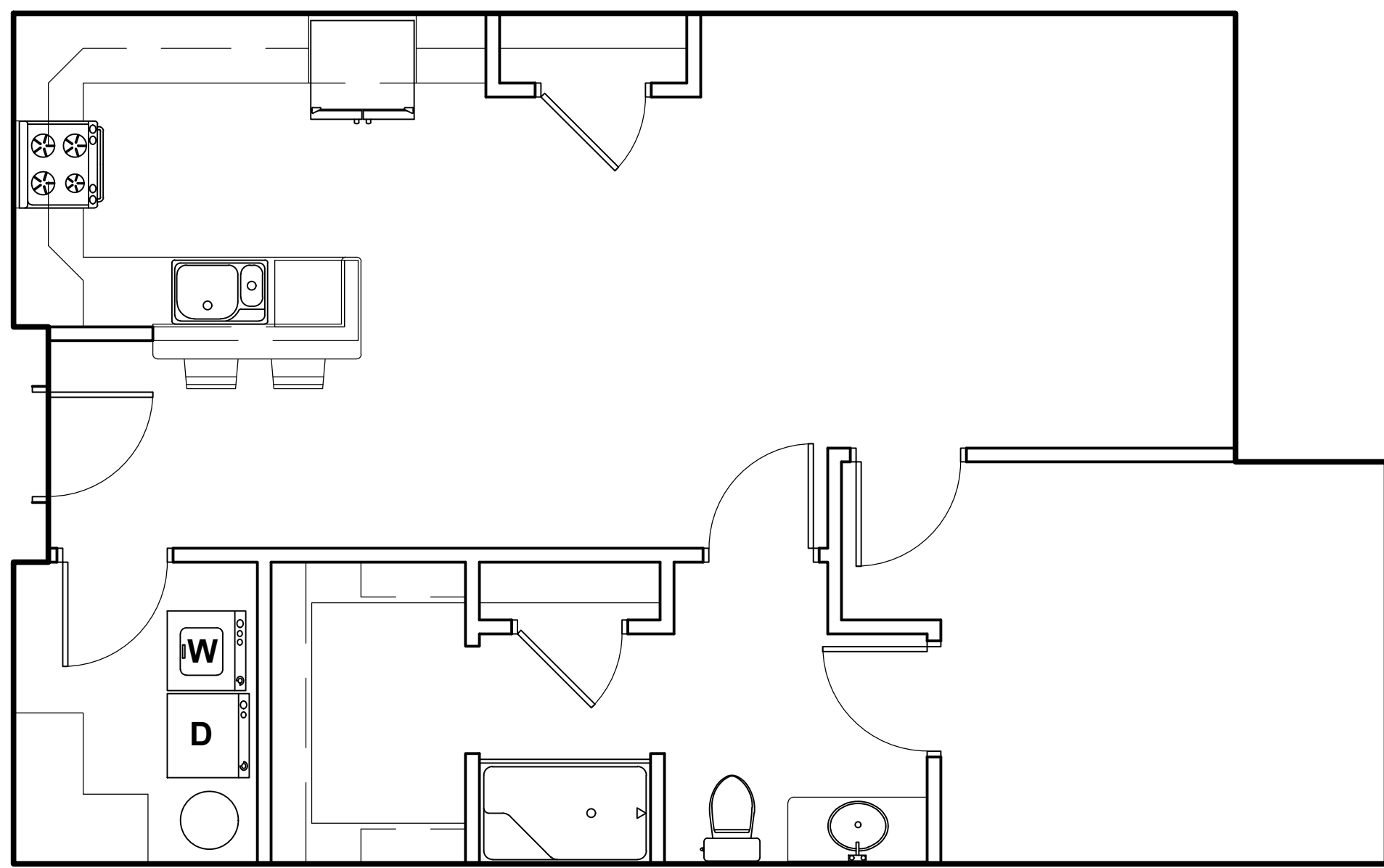
1-BED 1-BATH UNIT (807 SF)

1/4" = 1'-0"



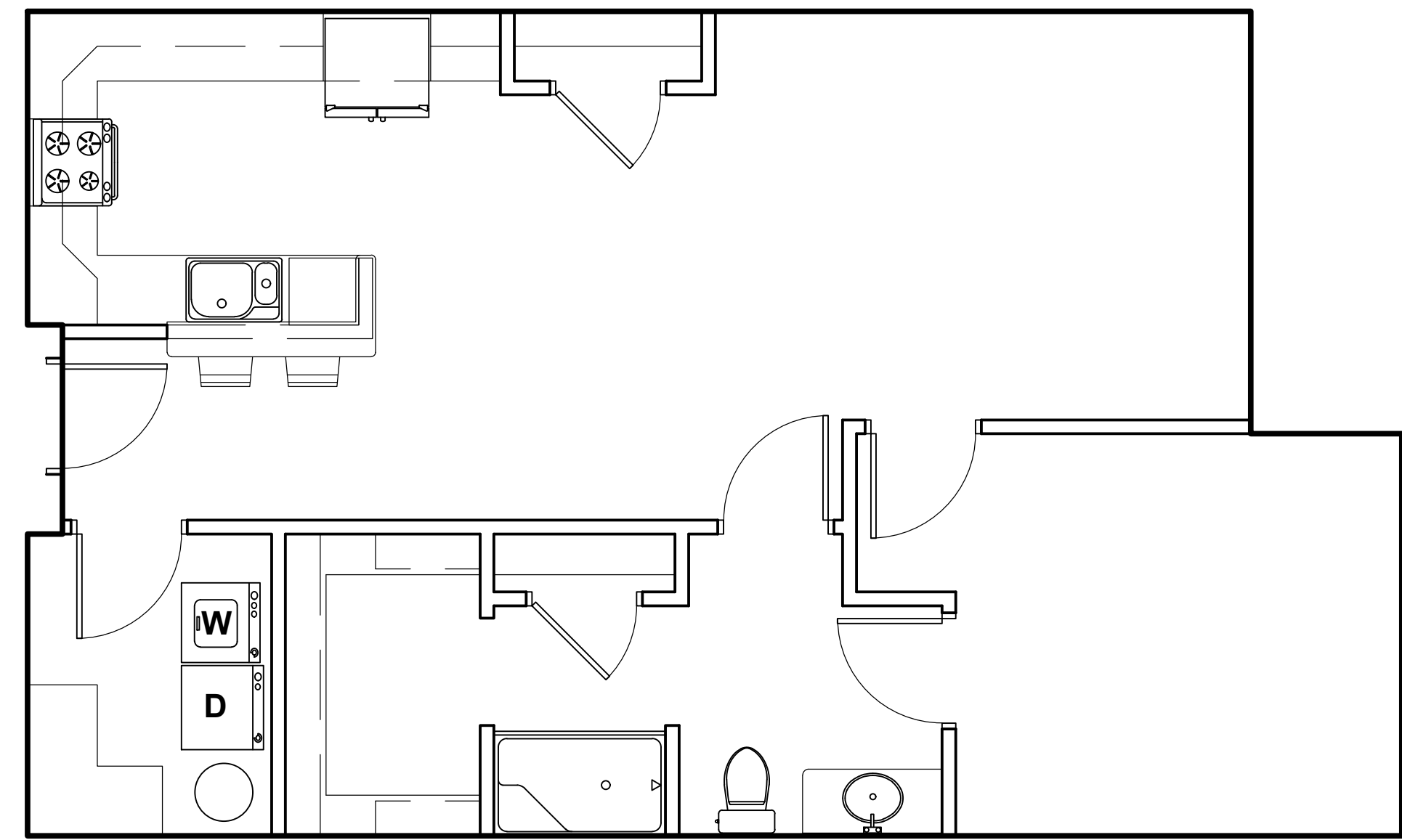
1-BED 1-BATH UNIT (848 SF)

1/4" = 1'-0"



1-BED 1-BATH UNIT (900 SF)

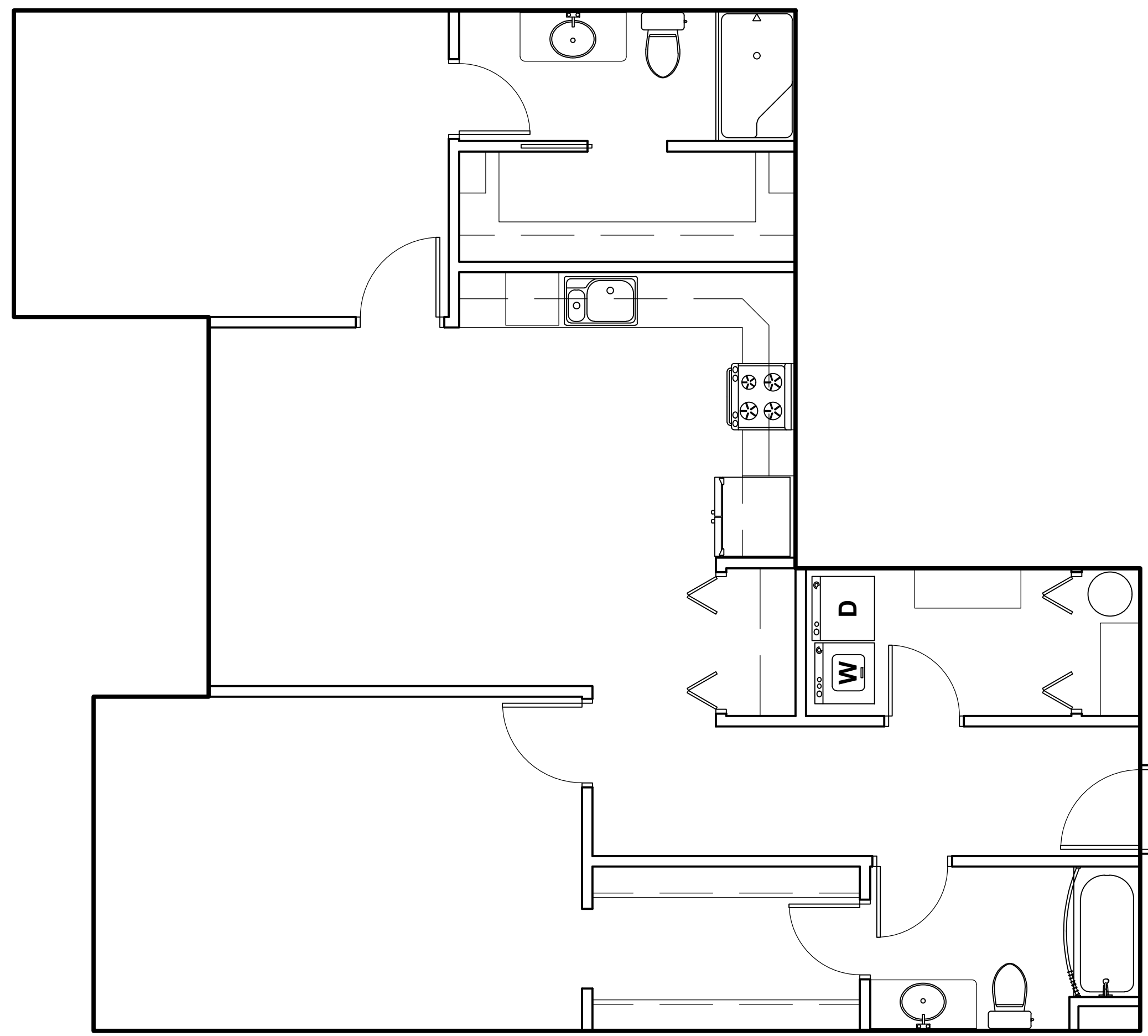
1/4" = 1'-0"



1-BED 1-BATH UNIT (874 SF)

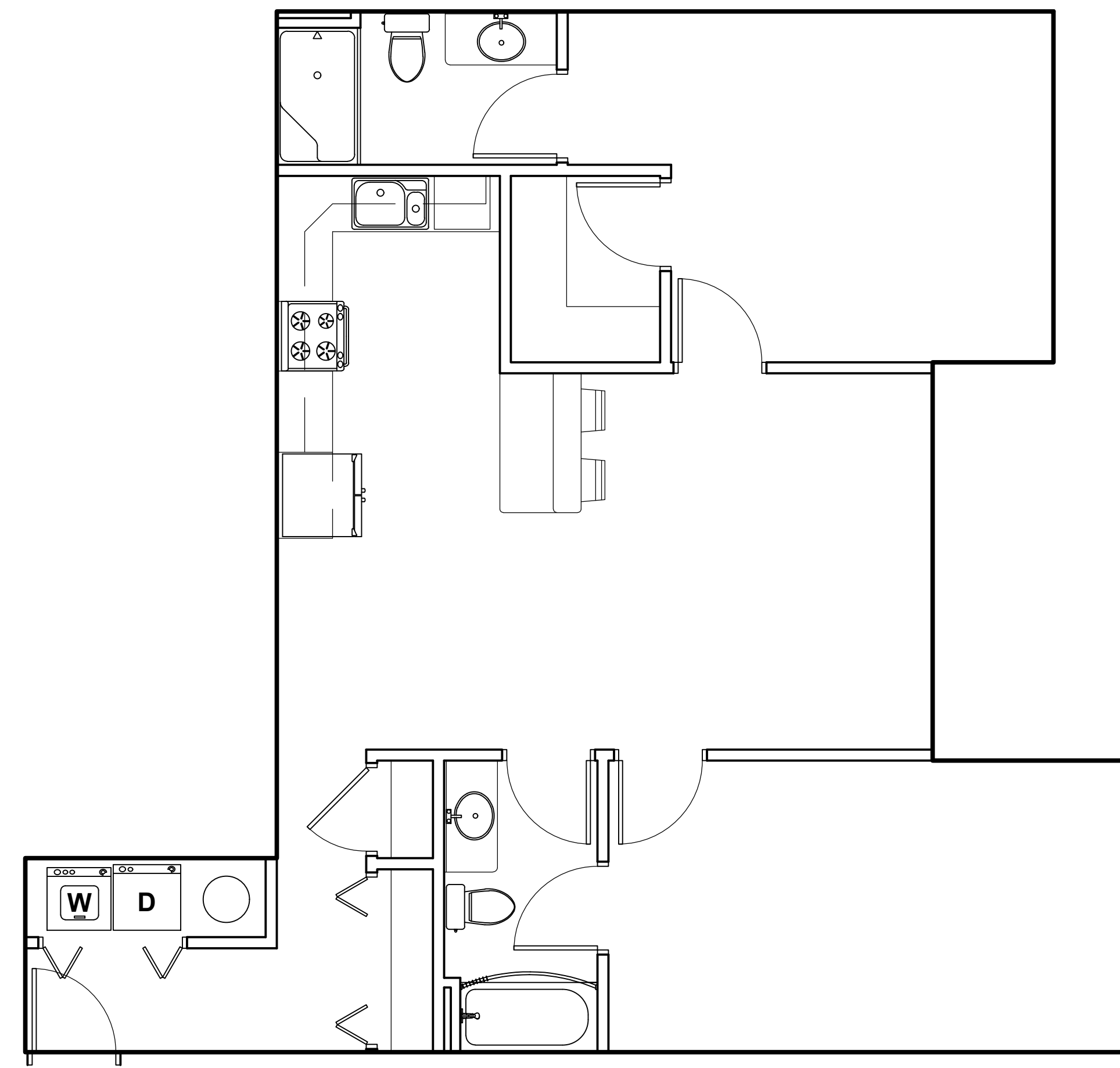
1/4" = 1'-0"





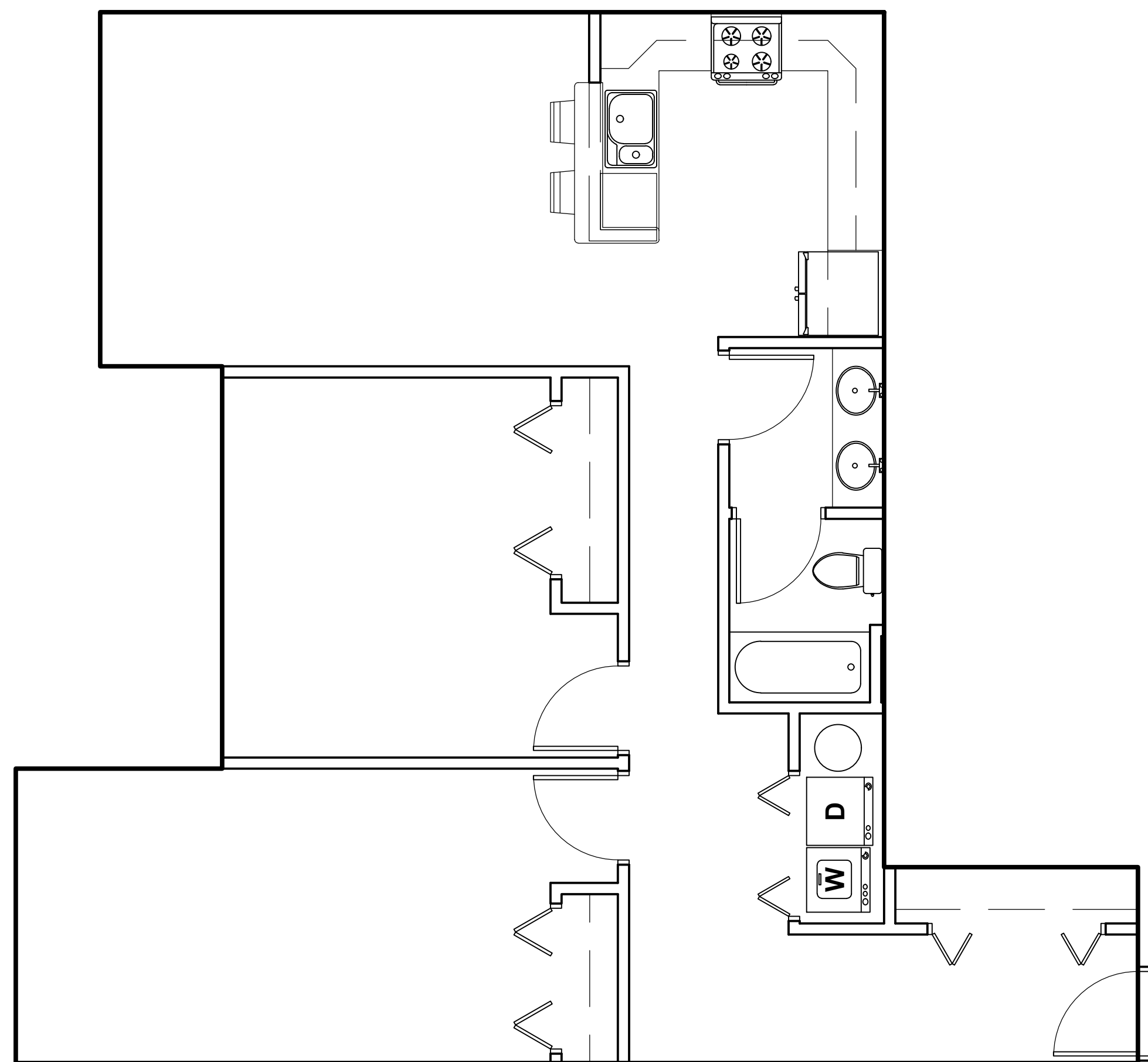
2-BED 2-BATH UNIT (1214 SF)

1/4" = 1'-0"



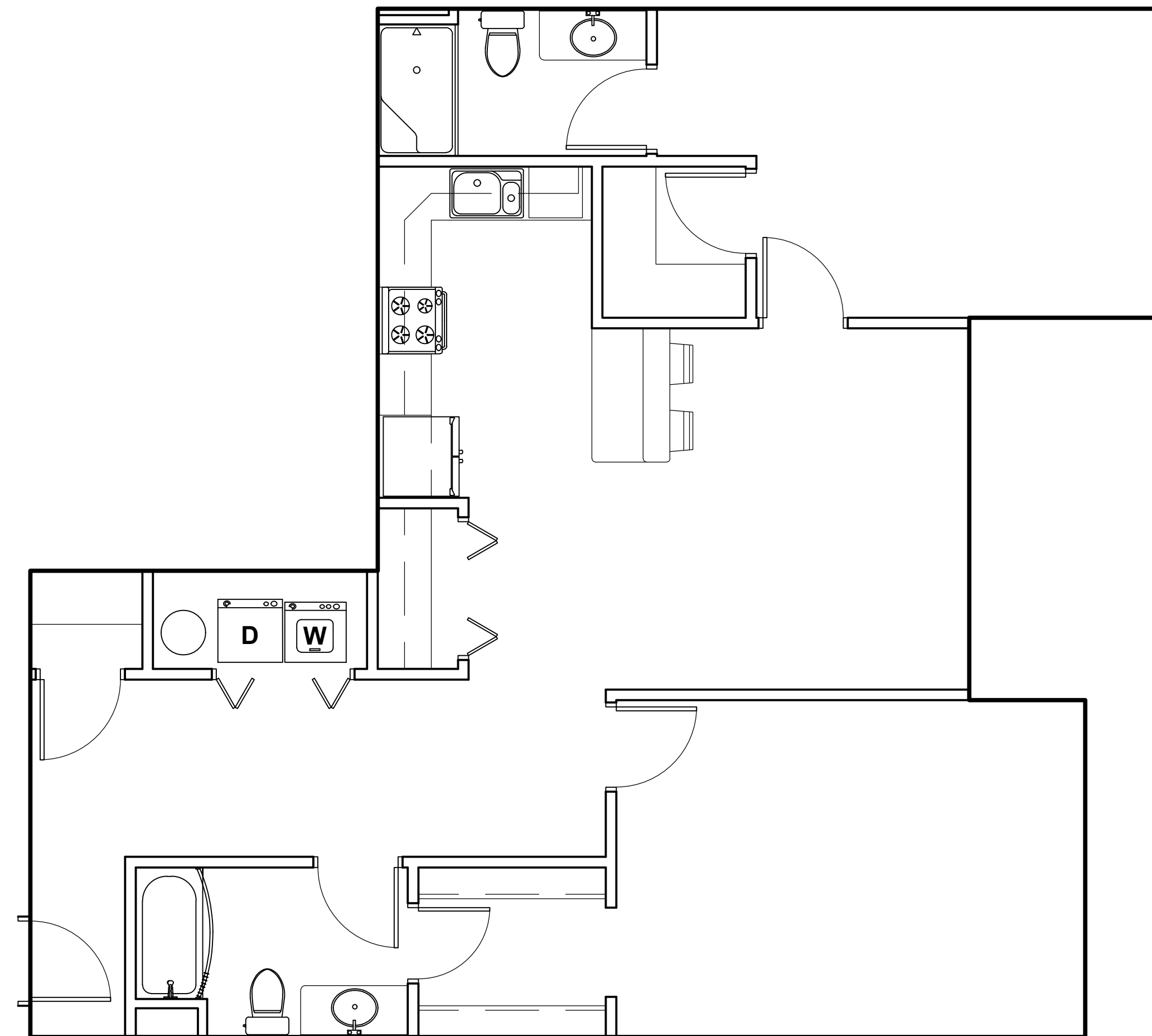
2-BED 2-BATH UNIT (1072 SF)

1/4" = 1'-0"



2-BED 1-BATH UNIT (1072 SF)

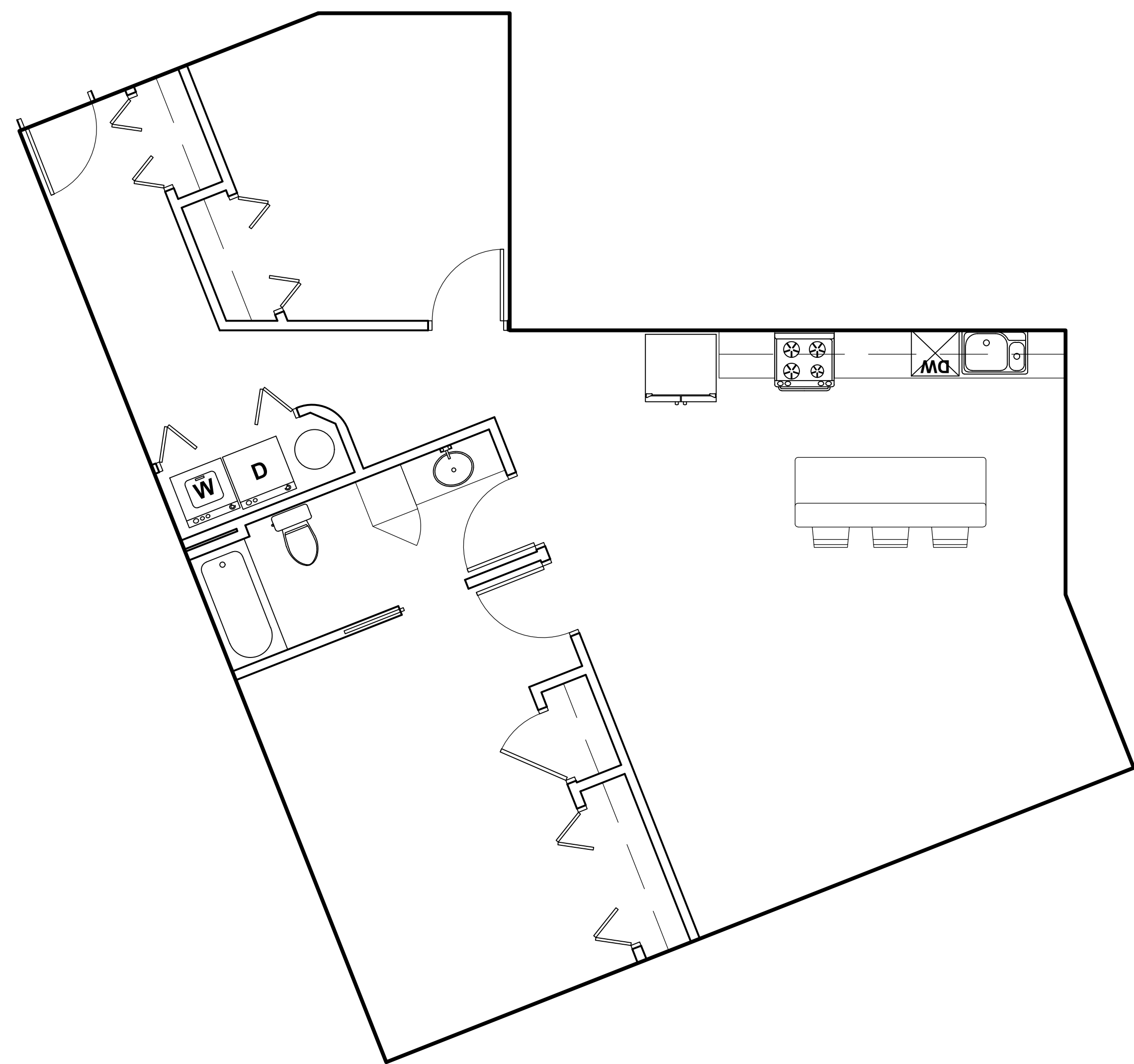
1/4" = 1'-0"



2-BED 2-BATH UNIT (1214 SF)

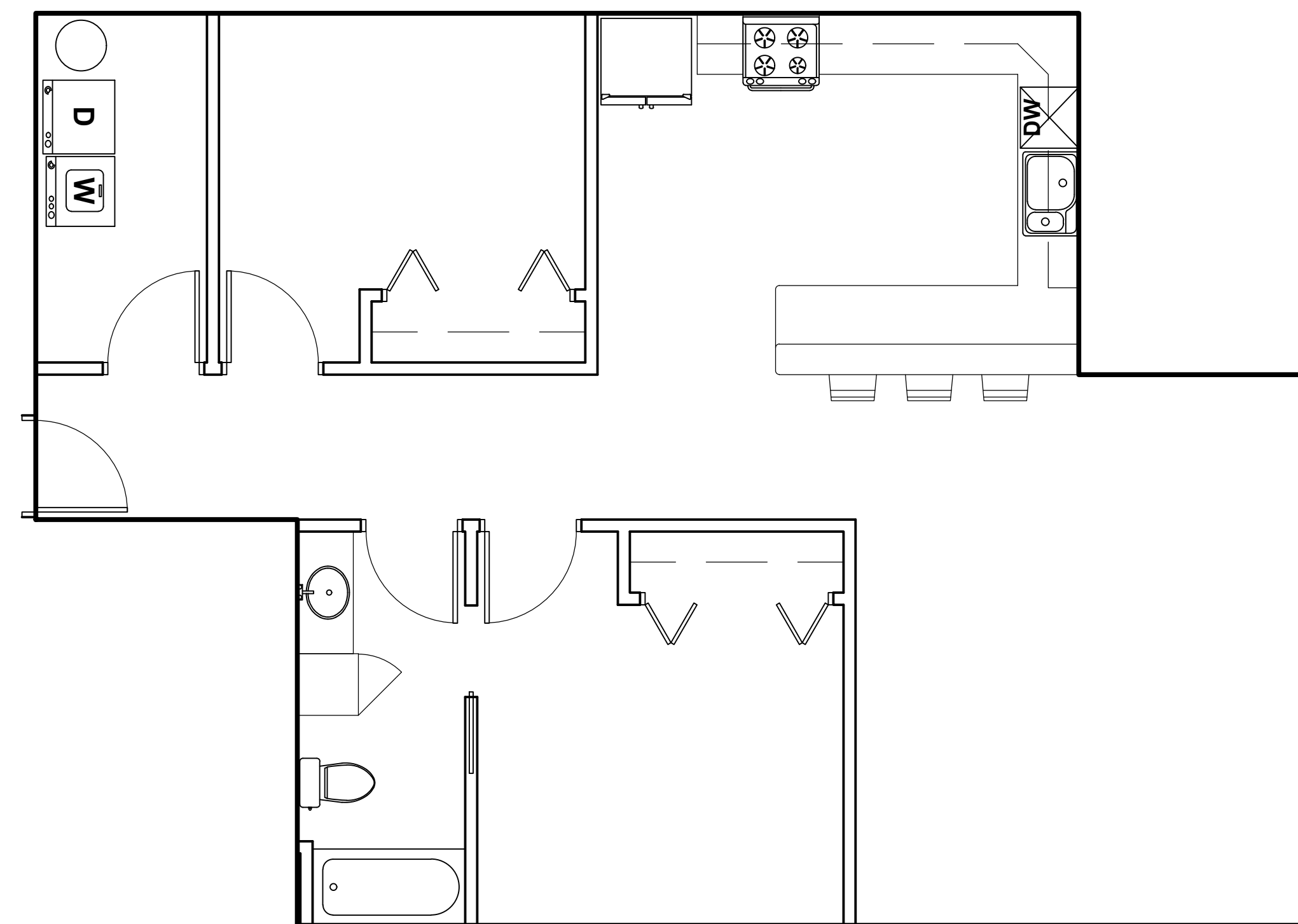
1/4" = 1'-0"





1-BED+DEN 1-BATH UNIT (1139 SF)

1/4" = 1'-0"



1-BED+DEN 1-BATH UNIT (1047 SF)

1/4" = 1'-0"

PROPOSED BUILDING
DECORAH FLATS
Sand Drive and Decorah Road
City of West Bend, Washington County

Issue:
01 / 24 / 2024

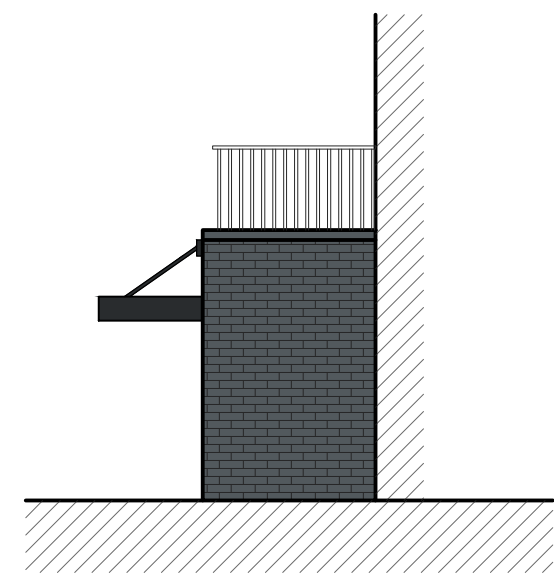
Revision:

Project Number:
23014

Sheet Title:
UNIT PLANS

Sheet Number:

A-107



PARTIAL ENTRY ELEVATION

1/8" = 1'-0"



PARTIAL ENTRY ELEVATION

1/8" = 1'-0"



PARTIAL NORTH ELEVATION

1/8" = 1'-0"



PARTIAL EAST ELEVATION

1/8" = 1'-0"

AMERICAN
CONSTRUCTION SERVICES, INC.



3350 SOUTH RIVER ROAD
WEST BEND, WI 53095-7884
(262) 334-3811 FAX: (262) 334-4990

AMERICAN
ARCHITECTURAL GROUP, INC.



3350 SOUTH RIVER ROAD
WEST BEND, WI 53095-7884
(262) 334-3811 FAX: (262) 334-4990

PROPOSED BUILDING
DECORAH FLATS
Sand Drive and Decorah Road
City of West Bend, Washington County

Issue:
01 / 24 / 2024

Revision:

Project Number:
23014

Sheet Title:
EXTERIOR ELEVATIONS

Sheet Number:

A-201



SOUTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

PROPOSED BUILDING
DECORAH FLATS
Sand Drive and Decorah Road
City of West Bend, Washington County

Issue:
01 / 24 / 2024

Revision:

Project Number:
23014

Sheet Title:
EXTERIOR ELEVATIONS

Sheet Number:

A-202



NORTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"

PROPOSED BUILDING
DECORAH FLATS
Sand Drive and Decorah Road
City of West Bend, Washington County

Issue:
01 / 24 / 2024

Revision:

Project Number:
23014

Sheet Title:
EXTERIOR ELEVATIONS

Sheet Number:

A-203

APPENDIX C - IRON HORSE COMMONS DESIGN DRAWINGS

Proposed Development: Iron Horse Commons

Sand Drive

City of West Bend, Washington County



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AMERICAN
CONSTRUCTION SERVICES, INC.



3350 SOUTH RIVER ROAD
WEST BEND, WI 53095-7884
(262) 334-3811 FAX: (262) 334-4990

Stamp



BUILDING INFORMATION:

BUILDING A-1 - TWO-STORY FRONT ENTRY/FRONT GARAGE

4 BUILDINGS
7835 SF / BUILDING

6 UNITS / BUILDING

4 UNITS
1611 SF / UNIT W/O GARAGE
2-BEDROOM / 2 BATH
2 CAR GARAGE

2 UNITS
2,066 SF / UNIT
3-BEDROOM / 3 BATH
2 CAR GARAGE

BUILDING A-2 - TWO-STORY FRONT ENTRY/FRONT GARAGE

1 BUILDING
6541 SF / BUILDING

5 UNITS / BUILDING

3 UNITS
1,611 SF / UNIT W/O GARAGE
2-BEDROOM / 2 BATH
2 CAR GARAGE

2 UNITS
3-BEDROOM / 3 BATH
2 CAR GARAGE
2,066 SF / UNIT

BUILDING B-1 - TWO-STORY FRONT ENTRY/ REAR GARAGE

1 BUILDING
11,695 SF / BUILDING

10 UNITS / BUILDING

1466 SF / UNIT W/O GARAGE
2-BEDROOM / 2.5 BATH
2 CAR GARAGE

BUILDING B-2 - TWO-STORY FRONT ENTRY / REAR GARAGE

2 BUILDINGS
7,000 SF / BUILDING

6 UNITS / BUILDING

1466 SF / UNIT W/O GARAGE
2-BEDROOM / 2.5 BATH
2 CAR GARAGE

SHEET INDEX

GENERAL

G-101 TITLE SHEET

CIVIL

C1.01 EXISTING CONDITIONS/DEMOLITION PLAN
C1.02 PROPOSED SITE PLAN
C1.03 EROSION CONTROL PLAN
C1.04 GRADING PLAN
C1.05 STORMWATER MANAGEMENT DETAILS
C1.06 UTILITY PLAN
C1.07 LANDSCAPE PLAN
C1.08 LIGHTING PLAN

ARCHITECTURAL

A-101 OVERALL FIRST AND SECOND FLOOR PLANS B-1 BUILDING
A-102 OVERALL FIRST AND SECOND FLOOR PLANS B-2 BUILDING
A-103 OVERALL FIRST AND SECOND FLOOR PLANS A-1 BUILDING
A-104 OVERALL FIRST AND SECOND FLOOR PLANS A-2 BUILDING
A-201 EXTERIOR ELEVATIONS 10-UNIT B-1 BUILDING
A-202 EXTERIOR ELEVATIONS 6-UNIT B-2 BUILDING
A-203 EXTERIOR ELEVATIONS 6-UNIT A-1 BUILDING
A-204 EXTERIOR ELEVATIONS 5-UNIT A-2 BUILDING

PROJECT TEAM

OWNER:

Jim Emmer
Iron Horse Commons, LLC
4508 Dollar Drive
West Bend, WI 53095
PH: (262) 463-1308
EMAIL: jemmer@emmerrealestate.com

ARCHITECT:

Adam Hertel
American Architectural Group, Inc.
3350 South River Road
West Bend, WI 53095
PH: (262) 334-3811
EMAIL: adam@teamaag.net

CIVIL:

Kevin Parish
Parish Survey & Engineering
122 Wisconsin Street
West Bend, WI 53095
PH: (262) 346-7800
EMAIL: kparish@parishse.com

Issue Date:

02 / 02 / 2024

Revision:

Project Number:

23013

Sheet Title:

TITLE SHEET AND
CODE INFORMATION

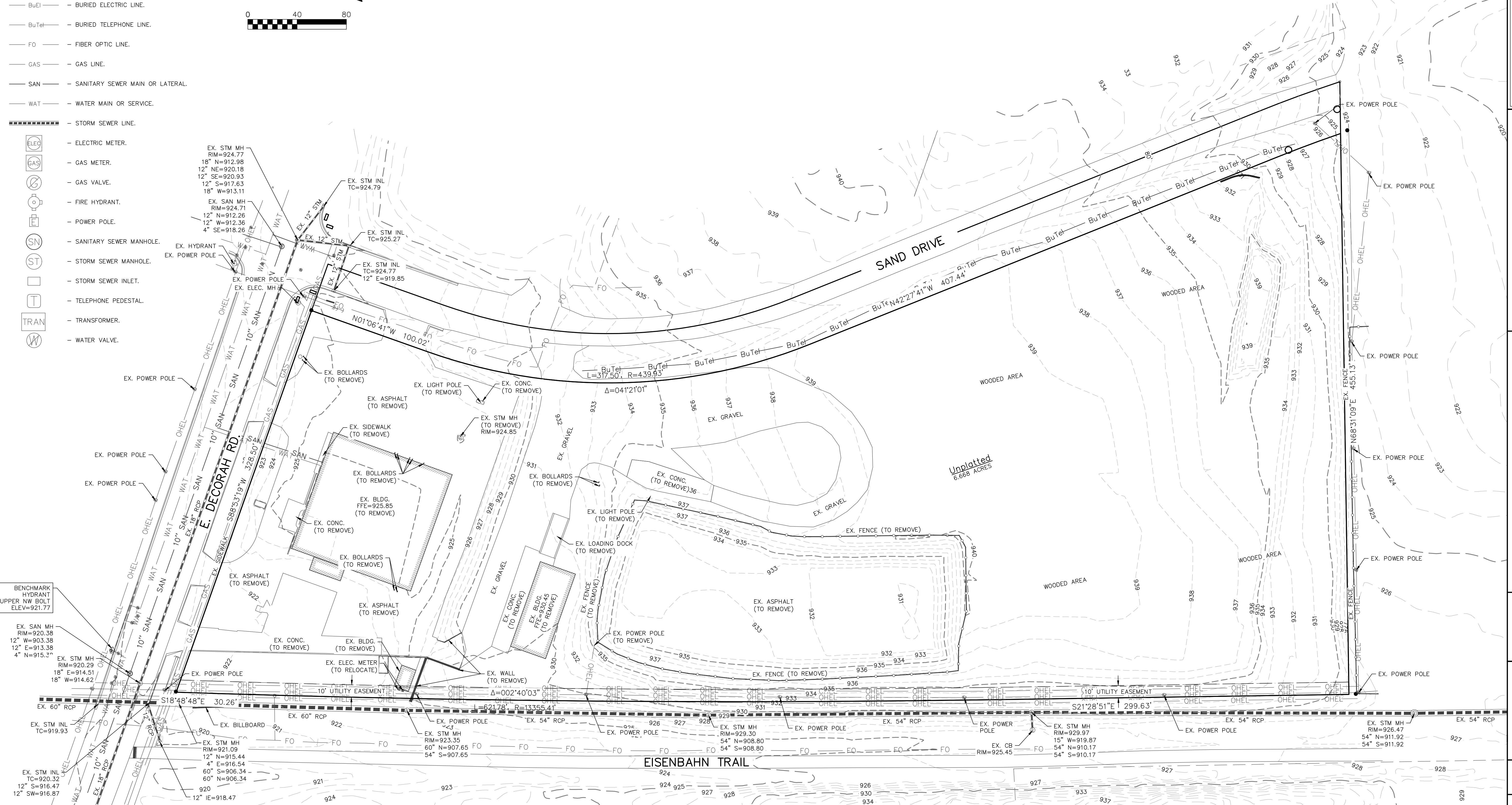
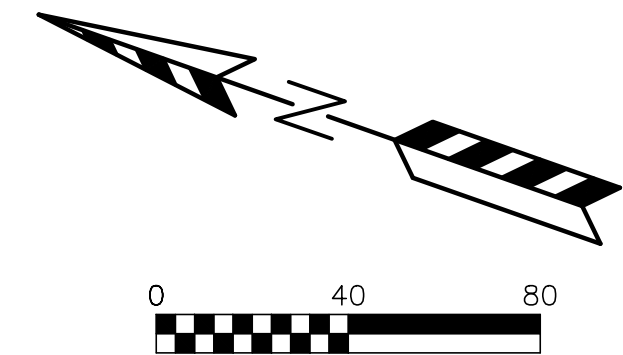
Sheet Number:

G-101

LEGEND:

- 896--- - EXISTING MINOR CONTOUR.
- 895--- - EXISTING MAJOR CONTOUR.
- OHEL--- - OVERHEAD ELECTRIC LINE.
- BuEl--- - BURIED ELECTRIC LINE.
- BuTel--- - BURIED TELEPHONE LINE.
- FO --- - FIBER OPTIC LINE.
- GAS --- - GAS LINE.
- SAN --- - SANITARY SEWER MAIN OR LATERAL.
- WAT --- - WATER MAIN OR SERVICE.
- - STORM SEWER LINE.

- ELECTRIC METER.
- GAS METER.
- GAS VALVE.
- FIRE HYDRANT.
- POWER POLE.
- SANITARY SEWER MANHOLE.
- STORM SEWER MANHOLE.
- STORM SEWER INLET.
- TELEPHONE PEDESTAL.
- TRANSFORMER.
- WATER VALVE.



NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX

PSE
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 122 Wisconsin Street, West Bend, WI 53095
 262.346.7800
 www.parishse.com

PROJECT TITLE:
**IRON HORSE COMMONS
 111 E. DECORAH ROAD
 WEST BEND, WI 53095**

PLAN TITLE:
**EXISTING
 CONDITIONS/
 DEMOLITION
 PLAN**

DRAWN BY:
JDR

DESIGNED BY:
JDR

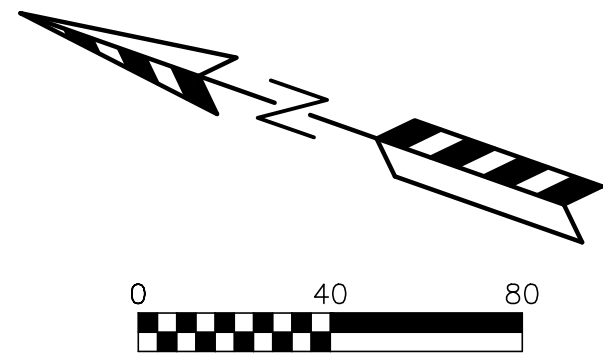
CHECKED BY:
KJP

PLAN DATE:
2.02.2024

PROJECT NO:
 \JE-06-22\

PRELIMINARY

SHEET NO:
C1.01



LEGEND:

- Ⓟ - PARKING STALLS IN A ROW
- Ⓡ - REJECT CURB
- Ⓐ - ACCEPT CURB

PAVING LEGEND

- ASPHALT PAVEMENT
 - 8" CRUSHED AGGREGATE BASE COURSE
 - 2 1/4" ASPHALTIC BINDER 3 LT 58-28 S
 - 1 3/4" ASPHALTIC SURFACE 4 LT 58-28 S
- CONCRETE DRIVEWAY & SIDEWALK
 - 8" CRUSHED AGGREGATE BASE COURSE
 - 4" CONCRETE

SITE INFORMATION BLOCK

Site Address:	111 E. Decorah Road
Legal Description:	Lot 2
Site Acreage	4.798 Acres
Current Zoning:	MXD
Building & Paving Setback Requirements	
Front	Building 10 feet, Pavement 10 feet
Side	10 feet, 5 feet
Rear	0 feet, 5 feet
Parking	
Surface Stalls	27
Garage & Driveway Stalls (4 per unit)	204
Total	231
Existing Site Areas	
Description	Area (sf) % Impervious
Building	0 0.00
Asphalt/Concrete	36,116 17.28
Gravel	12,235 5.85
Impervious	48,351 23.13
Lawn	160,668 76.87
Total	209,019 100.00
Proposed Site Areas	
Description	Area (sf) % Impervious
Building	64,619 30.92
Asphalt/Concrete	67,440 32.27
Impervious	132,059 63.18
Lawn	76,960 36.82
Total	209,019 100.00

SITE PLAN NOTES:

- DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- WHERE CURB ENDS AT STREET CONNECTIONS SMOOTHLY TRANSITION FROM FULL CURB HEIGHT TO ZERO CURB HEIGHT WITHIN A 3' LENGTH.
- ALL STRIPING AND SIGNAGE SHALL COMPLY WITH THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.



REVISIONS:

NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX

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PROJECT TITLE:
**IRON HORSE COMMONS
 111 E. DECORAH ROAD
 WEST BEND, WI 53095**

PLAN TITLE:
**PROPOSED
 SITE PLAN**

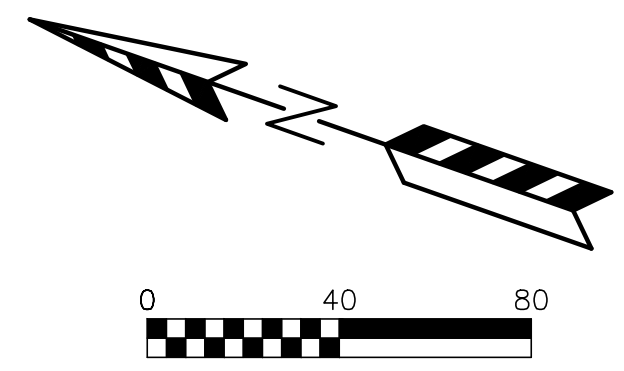
DRAWN BY:
KJP
 DESIGNED BY:
KJP
 CHECKED BY:
KJP

PLAN DATE:
2.02.2024

PROJECT NO:
 \JE-06-22\

PRELIMINARY

SHEET NO:
C1.02



LEGEND:

- 936 --- EXISTING MINOR CONTOUR.
- 935 --- EXISTING MAJOR CONTOUR.
- 936 --- PROPOSED MINOR CONTOUR.
- 935 --- PROPOSED MAJOR CONTOUR.
- --- PROPOSED STORM SEWER.
- --- EXISTING STORM SEWER.
- --- INSTALL WSDOT TYPE D INLET PROTECTION.
- --- INSTALL SILT FENCE.
- --- INSTALL DITCH CHECK.
- ← --- DRAINAGE ARROW.

STAGES OF CONSTRUCTION TIME SCHEDULE:

- SEPTEMBER 1, 2024**
1. INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS.
- SEPTEMBER 2, 2024 – SEPTEMBER 1, 2025**
2. RAZE EXISTING BUILDINGS, REMOVE TREES, AND REMOVE ASPHALT, CONCRETE, ETC.
 3. STRIP TOPSOIL IN EXISTING LAWN/WOODED AREAS.
 4. CONSTRUCT BIO-FILTER AS SEDIMENT BASIN DURING CONSTRUCTION.
 5. BEGIN ROUGH GRADING.
 6. START CONSTRUCTION OF UTILITIES: WATER SERVICE, SANITARY SEWER AND STORM SEWER.
 7. CONSTRUCT BUILDING, FOOTINGS AND FOUNDATION.
 8. CONTINUE FINISH GRADING.
 9. INSTALL BASE COURSE, CURB, SIDEWALK AND ASPHALT.
- SEPTEMBER 2 – 15, 2025**
10. REMOVE ACCUMULATED SEDIMENT FROM SEDIMENT BASIN AND INSTALL SAND STORAGE, ENGINEERED SOIL, AND PLANTINGS.
 11. INSTALL LANDSCAPING.
 12. APPLY FINAL STABILIZATION TO ENTIRE SITE.
- ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15. ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059).
- STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.
- SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE.
- CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY CITY OF WEST BEND PRIOR TO CHANGE.
- AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPs SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE THE MAXIMUM EXTENT PRACTICABLE.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AREAS DISTURBED BY REMOVAL OF BMPs.



NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX



PROJECT TITLE:
IRON HORSE COMMONS
111 E. DECORAH ROAD
WEST BEND, WI 53095

PLAN TITLE:
EROSION CONTROL PLAN

DRAWN BY:
KJP

DESIGNED BY:
KJP

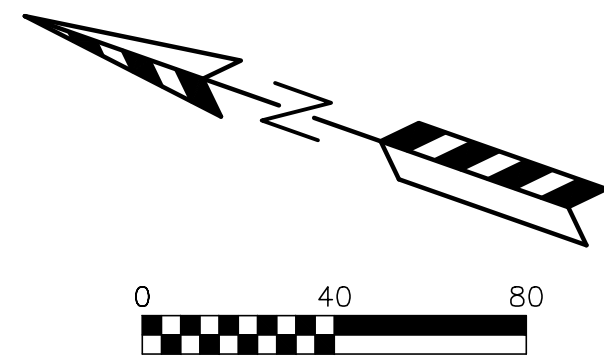
CHECKED BY:
KJP

PLAN DATE:
2.02.2024

PROJECT NO:
\\JE-06-22\

PRELIMINARY

SHEET NO:
C1.03



LEGEND:

- 936 --- EXISTING MINOR CONTOUR.
- 935 --- EXISTING MAJOR CONTOUR.
- 936 --- PROPOSED MINOR CONTOUR.
- 935 --- PROPOSED MAJOR CONTOUR.
- EX 934.23 - EXISTING SPOT ELEVATION.
- 934.23 - PROPOSED CURB FLANGE/TOP OF CONCRETE ELEVATION.
- TC 934.23 - PROPOSED TOP OF CURB ELEVATION.
- SW 934.23 - PROPOSED SIDEWALK ELEVATION.
- FFE 934.23 - PROPOSED BUILDING FIRST FLOOR ELEVATION.
- TFE 934.23 - PROPOSED TOP OF FOOTING ELEVATION.
- TW 934.23 - PROPOSED TOP OF RETAINING WALL ELEVATION.
- BW 934.23 - PROPOSED BOTTOM OF RETAINING WALL ELEVATION.
- ===== PROPOSED STORM SEWER.
- ===== EXISTING STORM SEWER.



NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX

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PROJECT TITLE:
**IRON HORSE COMMONS
111 E. DECORAH ROAD
WEST BEND, WI 53095**

PLAN TITLE:
**GRADING
PLAN**

DRAWN BY:
KJP

DESIGNED BY:
KJP

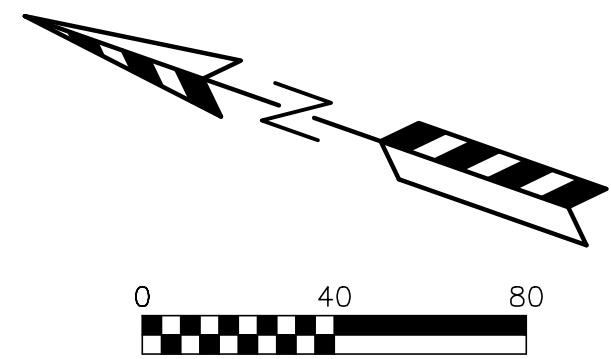
CHECKED BY:
KJP

PLAN DATE:
2.02.2024

PROJECT NO:
\JE-06-22

PRELIMINARY

SHEET NO:
C1.04



STORM SEWER CASTINGS:

STRUCTURE	STRUCTURE DIAMETER	NEENAH CASTING OR EQUIVALENT
STAND PIPE #3	3' DIA.	HAALA TRASH RACK
CB #3.1	4' DIA.	R-3501-R
CB #4	4' DIA.	R-3501-R
C #4.1	3' DIA.	R-2510
CB #5	4' DIA.	R-3501-R
CB #5.1	24"x30"	R-3501-R
CB #6	4' DIA.	R-3501-R
INLET #7	24"x30"	R-3501-R
CB #7.1	3' DIA.	R-2510

LEGEND:

- OHEL — OHEL — OVERHEAD ELECTRIC LINE.
- BUL — BUL — BURIED ELECTRIC LINE.
- BU TEL — BU TEL — BURIED TELEPHONE LINE.
- FO — FO — FIBER OPTIC LINE.
- GAS — GAS — GAS LINE.
- SAN — SAN — SANITARY SEWER MAIN OR LATERAL.
- WAT — WAT — WATER MAIN OR SERVICE.
- — — — — STORM SEWER LINE.
- ⊙ — GAS VALVE.
- ⊙ — FIRE HYDRANT.
- ⊙ — POWER POLE.
- ⊙ — SANITARY SEWER MANHOLE.
- ⊙ — ST — STORM SEWER MANHOLE.
- ⊙ — STORM SEWER INLET.
- ⊙ — TELEPHONE PEDESTAL.
- ⊙ — TRANSFORMER.
- ⊙ — WATER VALVE.
- SAN — SAN — PROPOSED SANITARY SEWER
- WAT — WAT — PROPOSED WATER MAIN
- — — — — PROPOSED STORM SEWER.
- GAS — GAS — PROPOSED GAS MAIN



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PROJECT TITLE:
**IRON HORSE COMMONS
 111 E. DECORAH ROAD
 WEST BEND, WI 53095**

PLAN TITLE:
UTILITY PLAN

DRAWN BY:
KJP
 DESIGNED BY:
KJP
 CHECKED BY:
KJP

PLAN DATE:
2.02.2024

PROJECT NO:
 \JE-06-22\

PRELIMINARY

SHEET NO:
C1.06



PLANT LIST

KEY	QTY	SIZE	COMMON NAME	ROOT
FM	(16)	2'	CANOPY TREES FIRESPIRE MUSCLEWOOD	BB
AC	(11)	3'	LOW ORNAMENTAL TREES ADIRONDACK CRABAPPLE	BB
ABS	3	1 1/2'	AUTUMN BRILLIANCE SERVICEBERRY	BB
DN	(159)	24"	DECIDUOUS SHRUBS DIABLO NINEBARK	POT
GFS	76	18"	GOLD FLAME SPIREA	POT
AWS	32	18"	A. W. SPIREA	POT
KCJ	(11)	1' G	UPRIGHT EVERGREEN SHRUBS KALLAY'S COMPACT JUNIPER	CON

- NOTES:**
- 1) DESIGNATED LAWN AREAS TO RECEIVE A MINIMUM OF 6" OF TOPSOIL, STARTER FERTILIZER, AND LOCALLY GROWN BLUEGRASS SOD.
 - 2) FOUNDATION PLANTING BEDS AND DESIGNATED PLANTING BEDS TO BE MULCHED WITH STONE MULCH SPREAD TO A DEPTH OF 3".
 - 3) INDIVIDUAL TREES AND SHRUB GROUPINGS IN LAWN AREAS TO RECEIVE SHREDDED HARDWOOD BARK MULCH PLANT RINGS (4" DIAMETER) SPREAD TO A DEPTH OF 3".
 - 4) DESIGNATED PLANTING BEDS TO BE SEPARATED FROM LAWN AREAS WITH 5" BLACK VINYL EDGING.
 - 5) OWNER WILL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE AFTER COMPLETION AND ACCEPTANCE OF THE PROJECT.

REVISIONS:

NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX

P S E

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122 Wisconsin Street, West Bend, WI 53095
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PROJECT TITLE:
IRON HORSE COMMONS
103 E. DECORAH ROAD
WEST BEND, WI 53095

PLAN TITLE:
LANDSCAPE PLAN

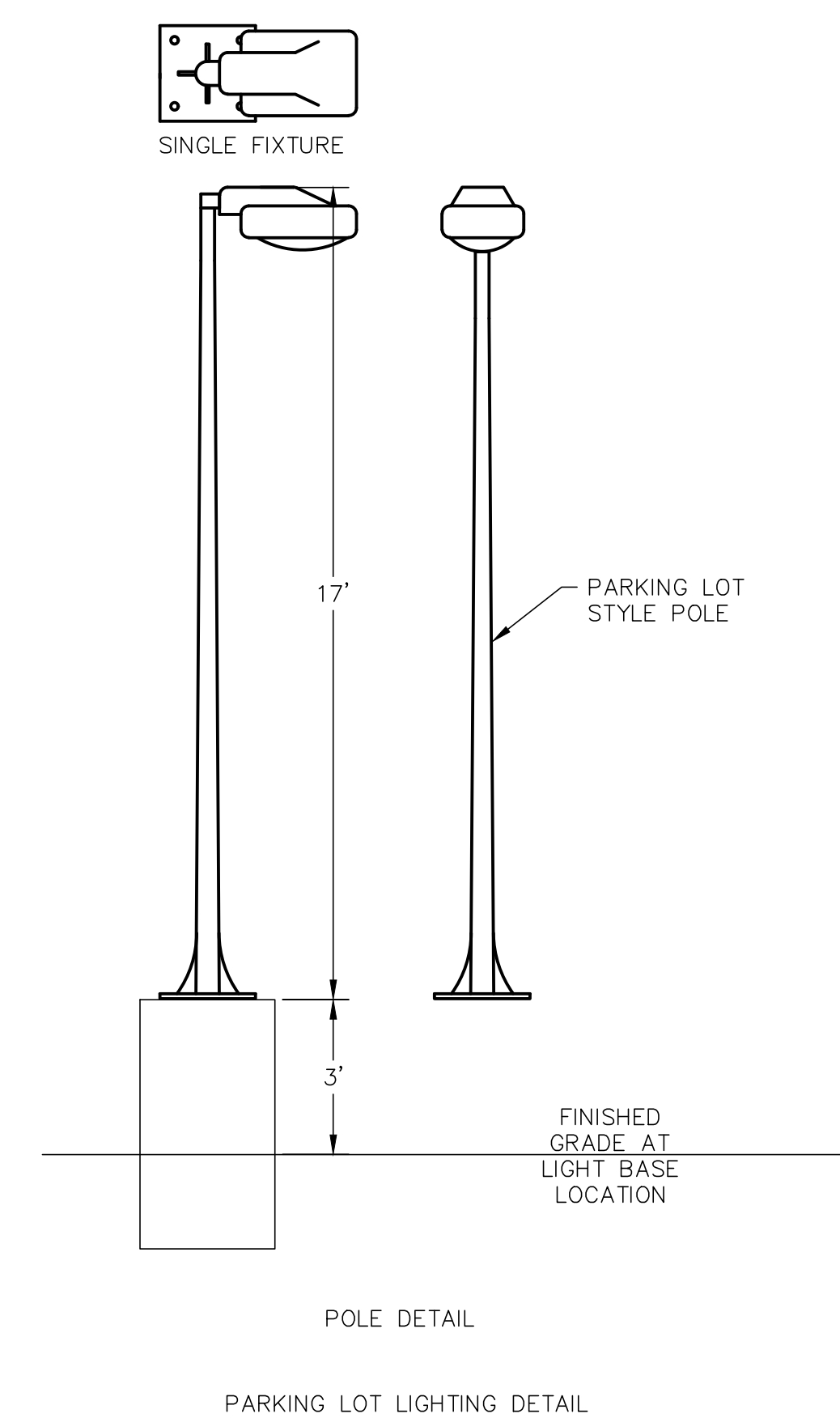
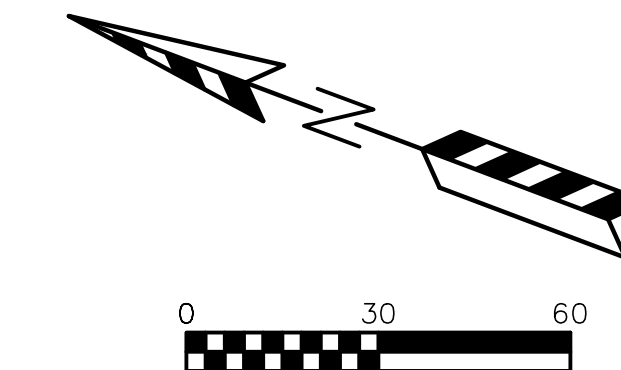
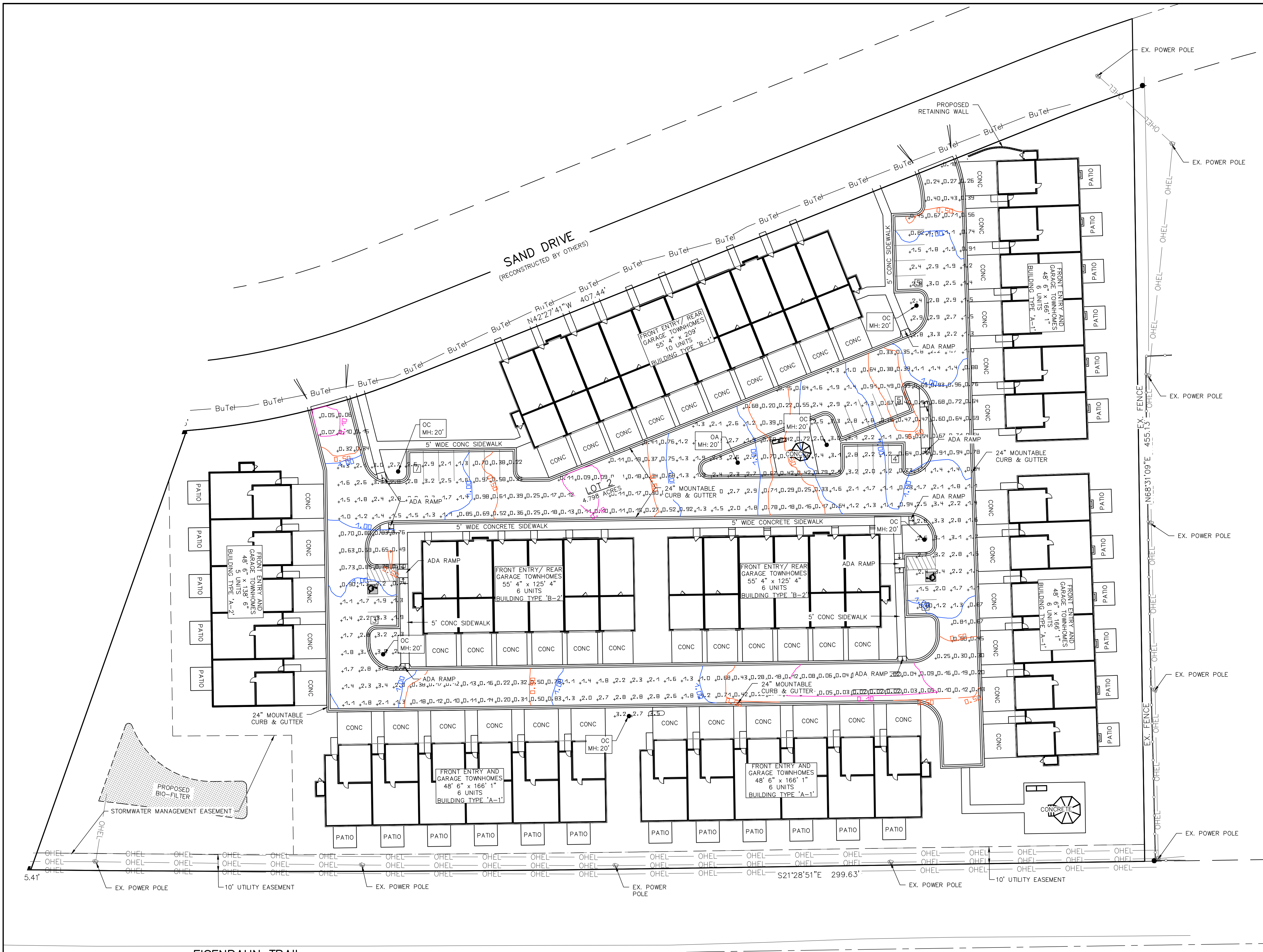
DRAWN BY:
KJP
DESIGNED BY:
KJP
CHECKED BY:
KJP

PLAN DATE:
2/02/2024

PROJECT NO.:
\\JE-06-22\

PRELIMINARY

C1.07



NOTES:
 1) STANDARD REFLECTANCE OF 80/50/20 UNLESS NOTED OTHERWISE
 2) NOT A CONSTRUCTION DOCUMENT, FOR DESIGN PURPOSES ONLY
 3) STANDARD INDOOR CALC POINTS @ 30 A.F.F. UNLESS NOTED OTHERWISE
 4) STANDARD OUTDOOR CALC POINTS @ GRADE UNLESS NOTED OTHERWISE
 5) PSE ASSUMES NO RESPONSIBILITY FOR INSTALLED LIGHT LEVELS DUE TO FIELD CONDITIONS, ETC.

Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF
—□	1	OA	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C25-D-UNV-T4-BZ	SINGLE	13,140	96	0.900
—□	6	OC	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C25-D-UNV-T3-BZ	SINGLE	13,180	96	0.900

CALCULATION SUMMARY							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AREA	Illuminance	Fc	1.24	3.48	0.00	N.A.	N.A.

REVISIONS:	
NO.	DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

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PROJECT TITLE:
**IRON HORSE COMMONS
 103 E. DECORAH ROAD WEST
 BEND, WI 53095**

PLAN TITLE:
LIGHTING PLAN

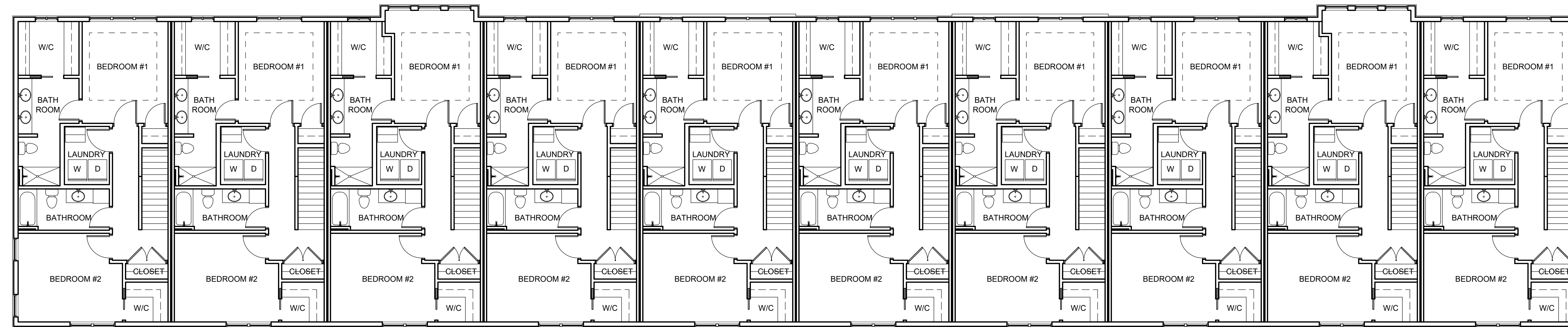
DRAWN BY:
KJP
 DESIGNED BY:
KJP
 CHECKED BY:
KJP

PLAN DATE:
2-02-2024

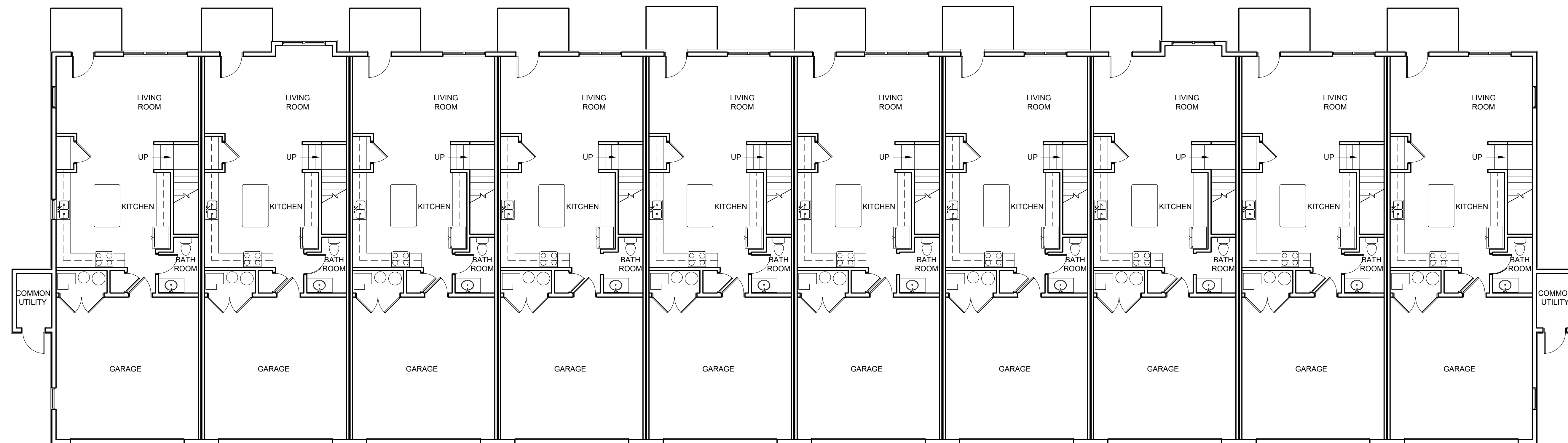
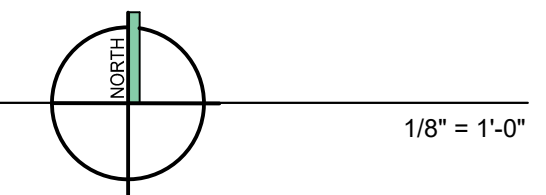
PROJECT NO:
 \JE-06-22\

PRELIMINARY

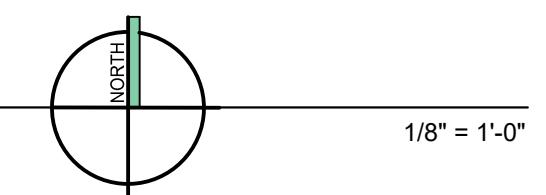
SHEET NO:
C1.08



SECOND FLOOR PLAN BUILDING B-1



FIRST FLOOR PLAN BUILDING B-1



PROPOSED BUILDING
Iron Horse Commons
Sand Drive
City of West Bend, Washington County

Issue Date:
10 / 31 / 2023

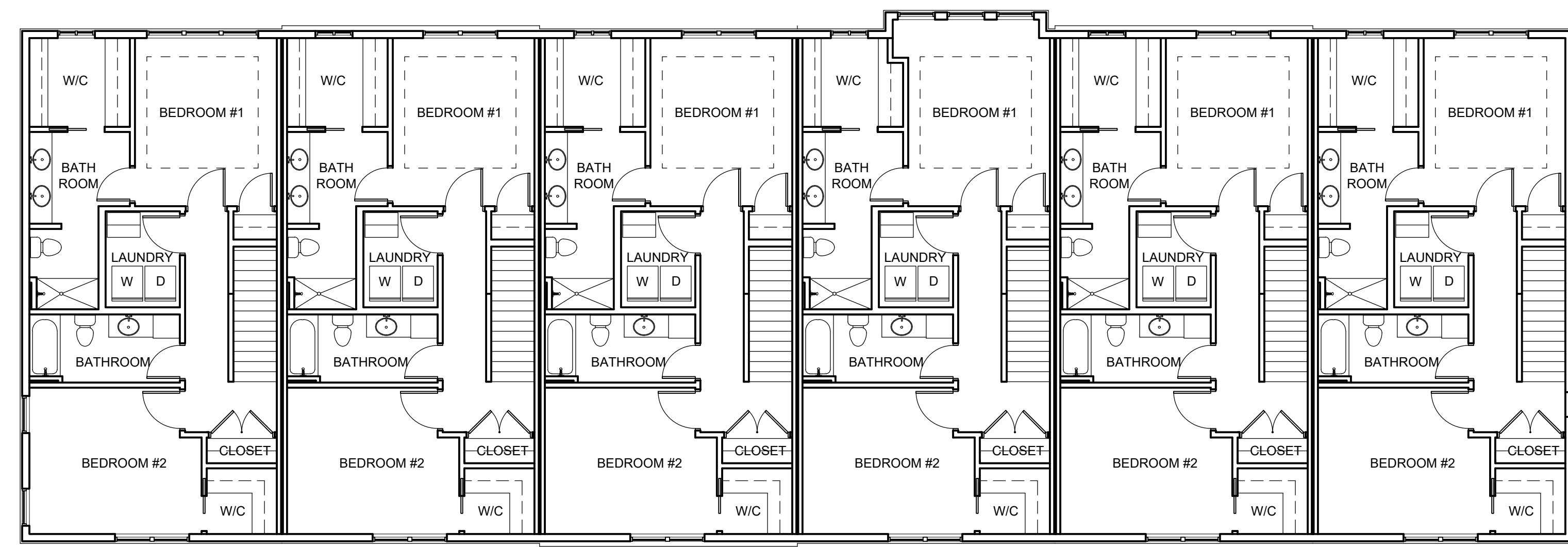
Revision:

Project Number:
23013

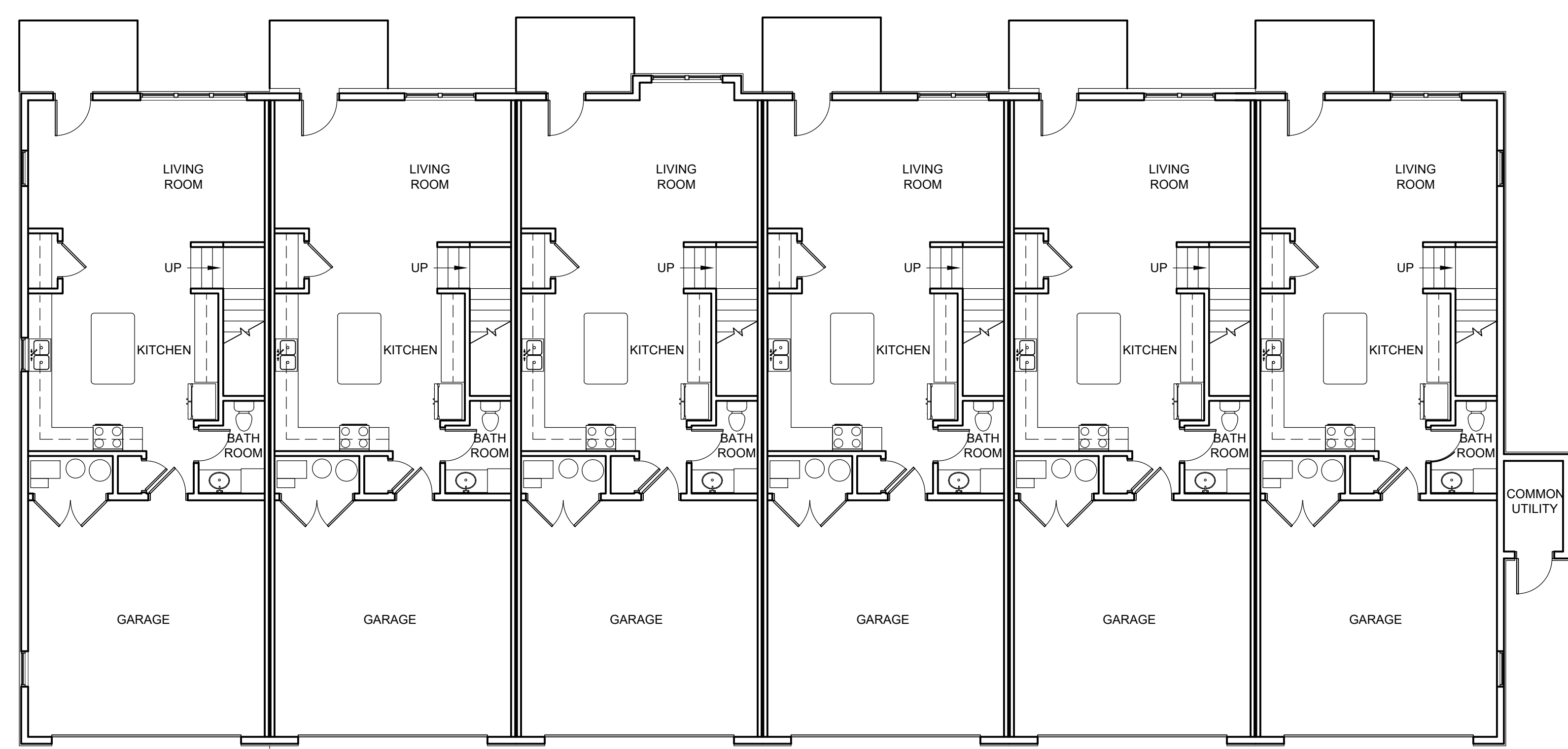
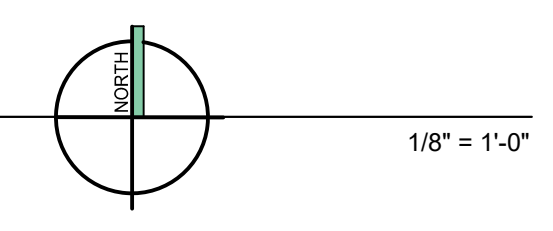
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OVERALL FIRST AND
SECOND FLOOR PLANS
B-1 BUILDING

Sheet Number:

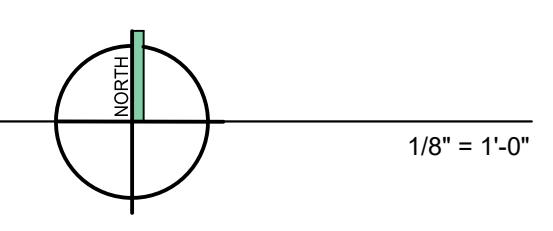
A-101



SECOND FLOOR PLAN BUILDING B-2



FIRST FLOOR PLAN BUILDING B-2



PROPOSED BUILDING
Iron Horse Commons
Sand Drive
City of West Bend, Washington County

Issue Date:
10 / 31 / 2023

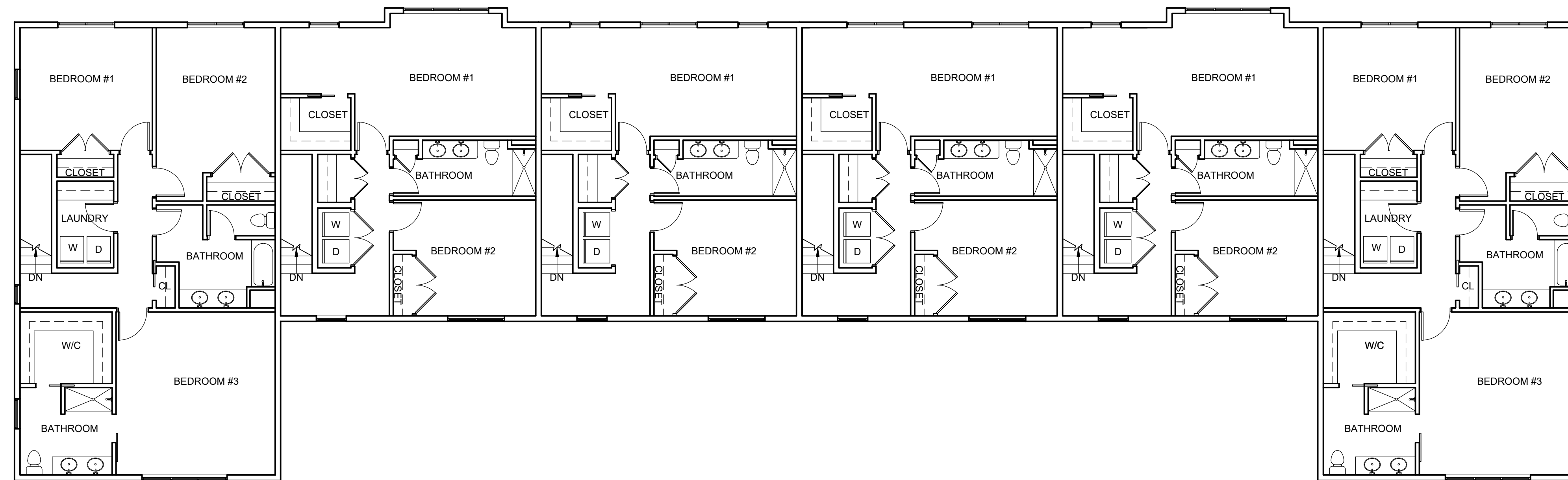
Revision:

Project Number:
23013

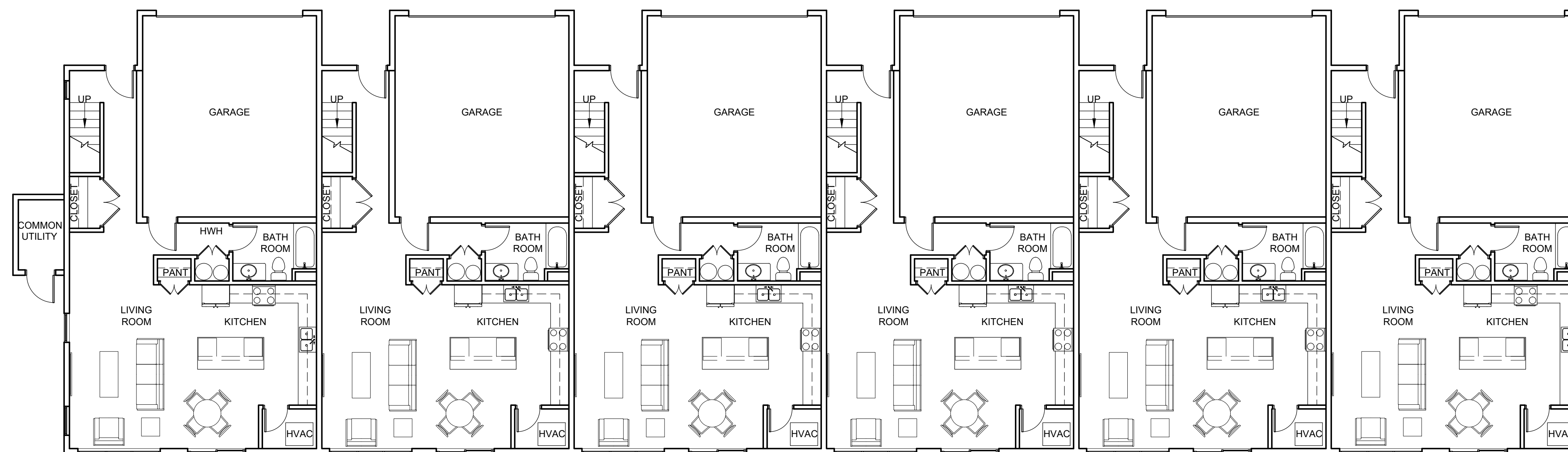
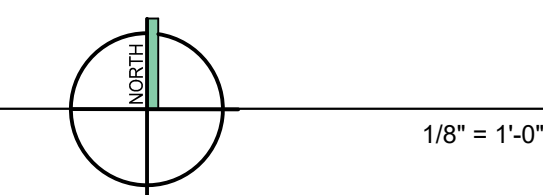
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OVERALL FIRST AND
SECOND FLOOR PLANS
B-2 BUILDING

Sheet Number:

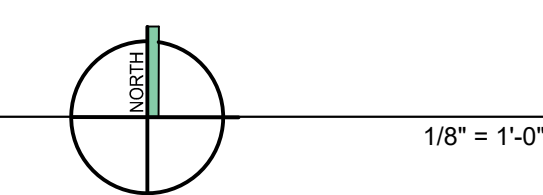
A-102



SECOND FLOOR PLAN BUILDING A-1



FIRST FLOOR PLAN BUILDING A-1



PROPOSED BUILDING
Iron Horse Commons
Sand Drive
City of West Bend, Washington County

Issue Date:
10 / 31 / 2023

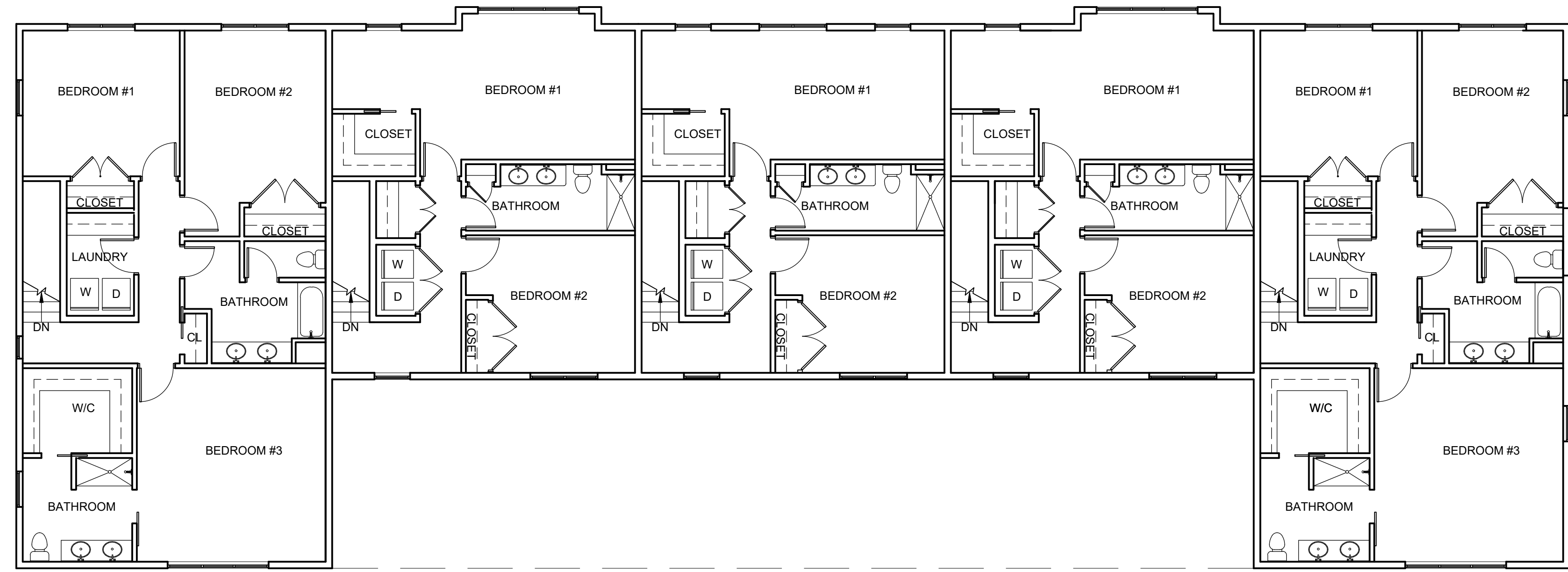
Revision:

Project Number:
23013

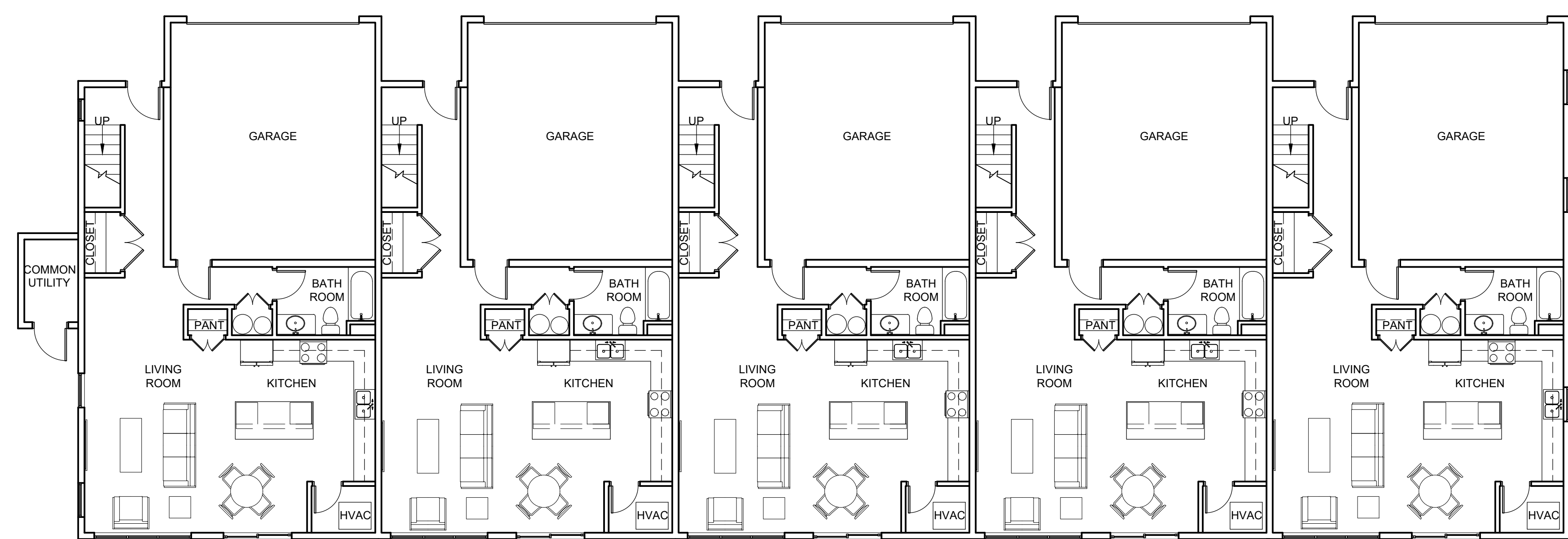
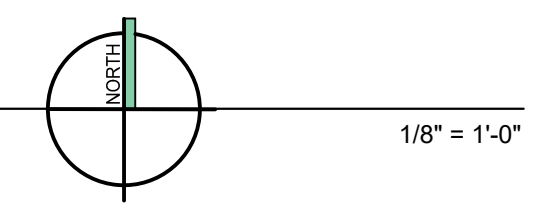
Sheet Title:
OVERALL FIRST AND
SECOND FLOOR PLANS
A-1 BUILDING

Sheet Number:

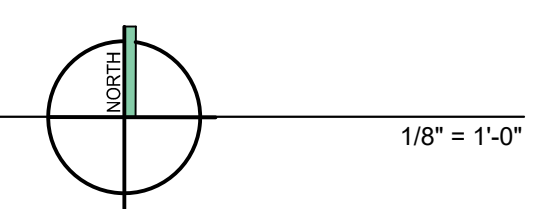
A-103



SECOND FLOOR PLAN BUILDING A-2



FIRST FLOOR PLAN BUILDING A-2



PROPOSED BUILDING
Iron Horse Commons
Sand Drive
City of West Bend, Washington County

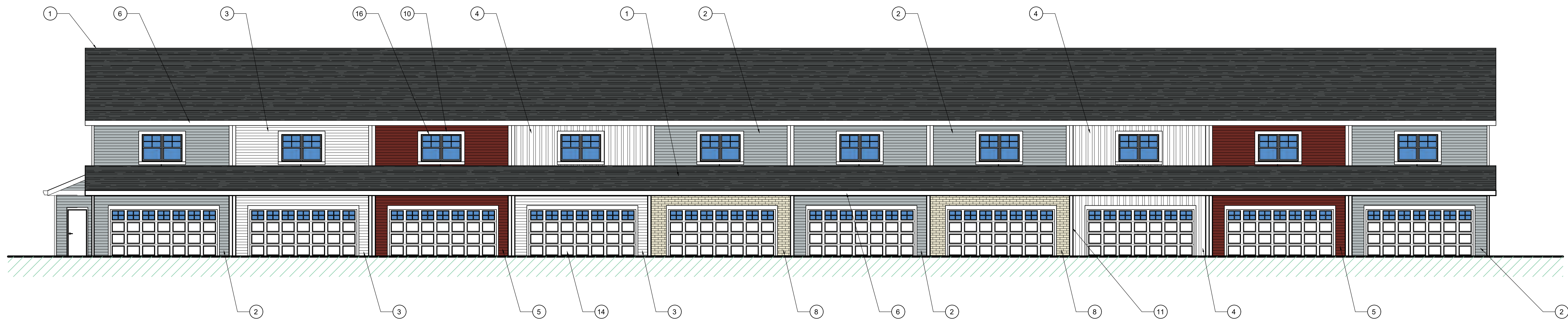
Issue Date:
10 / 31 / 2023

Revision:

Project Number:
23013

Sheet Title:
OVERALL FIRST AND
SECOND FLOOR PLANS
A-2 BUILDING

Sheet Number:

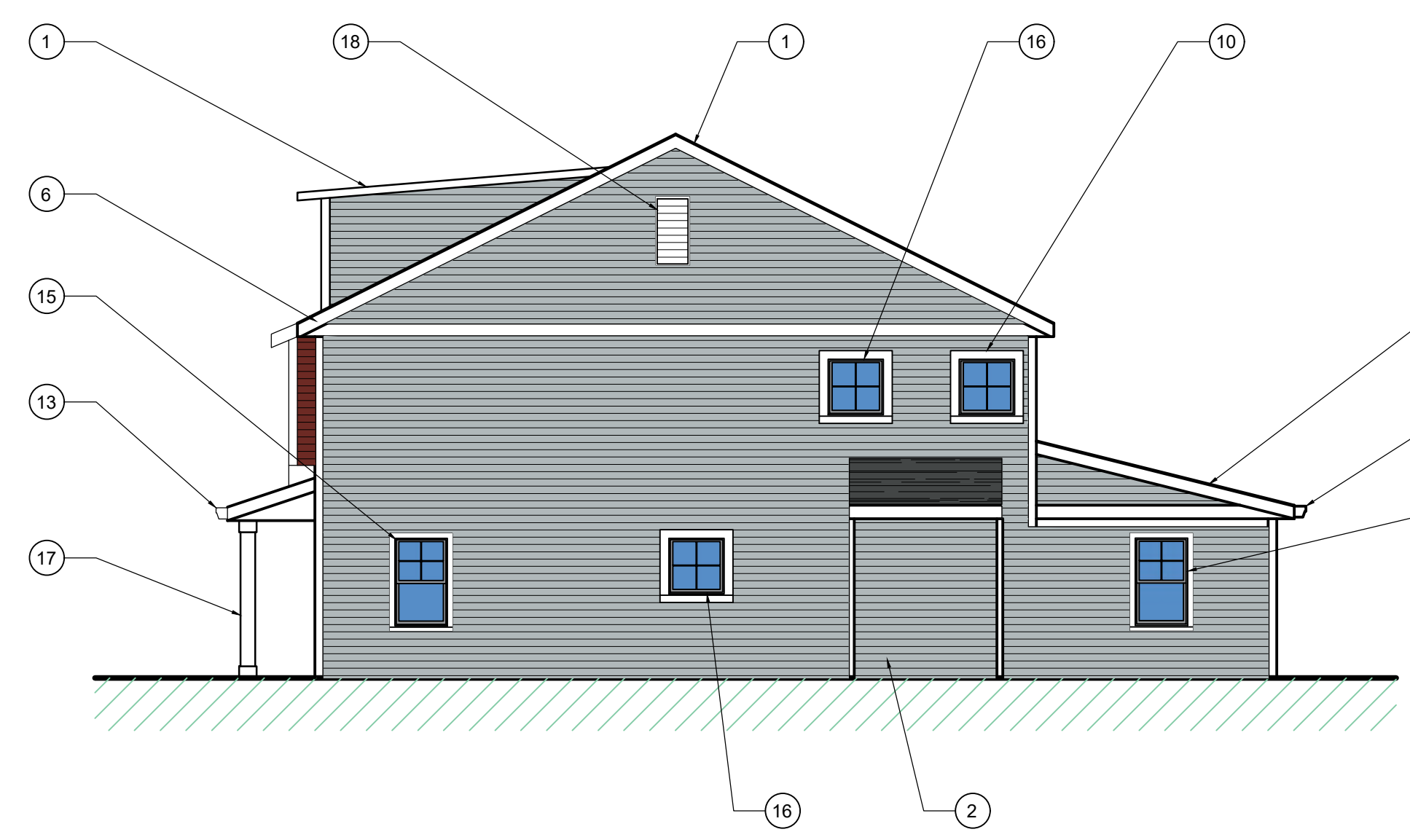


10 UNIT BUILDING REAR ELEVATION

1/8" = 1'-0"

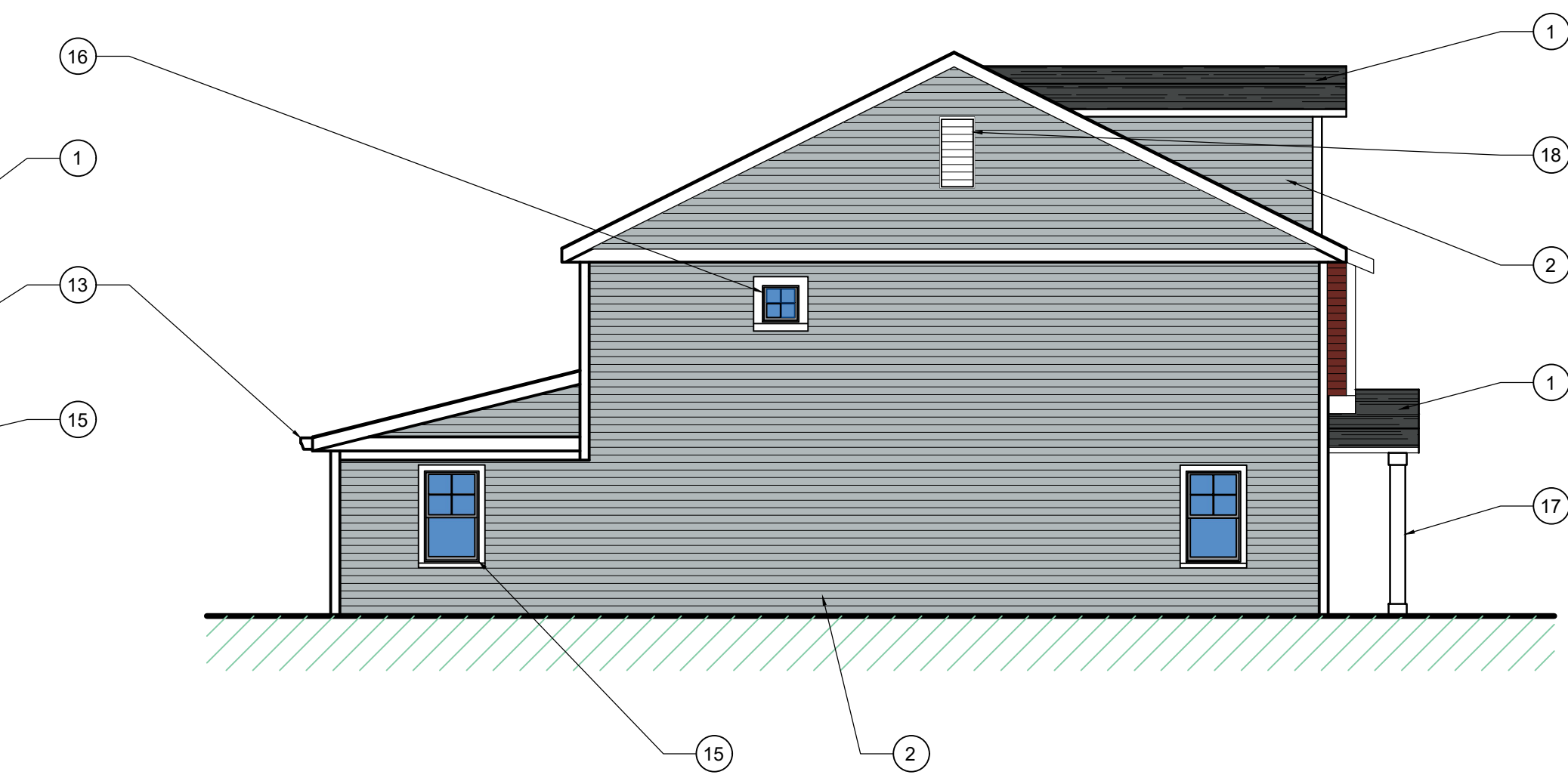
EXTERIOR MATERIALS:

1. 50 YEAR DIMENSIONAL FIBERGLASS SHINGLES
2. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: PEARL GRAY)
3. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: WHITE)
4. WHITE BOARD AND BATTON
5. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: COUNTRYLANE RED)
6. HARDIE TRIM OR LP SMARTSIDE FASCIA (COLOR: ARCTIC WHITE)
7. STAGGERED SHAKE SIDING (COLOR: AGED PEWTER)
8. BRICK (COLOR: INTERSTATE BRICK ALMOND, MORTAR COLOR: CREAM)
9. HARDIE OR LP VENTED SOFFIT (COLOR: ARCTIC WHITE)
10. HARDIETRIM OR LP SMARTSIDE TRIM 3.5 IN. (COLOR: ARCTIC WHITE)
11. HARDIETRIM OR LP SMARTSIDE TRIM 6 IN. (COLOR: ARCTIC WHITE)
12. HARDIETRIM OR LP SMARTSIDE TRIM 12 IN. (COLOR: ARCTIC WHITE)
13. PRE-FINISHED GUTTERS AND DOWNSPOUTS
14. INSULATED RAISED PANEL GARAGE DOOR WITH WINDOW PANELS
15. FIBERGLASS SINGLE HUNG WINDOW
16. FIBERGLASS FIXED WINDOW
17. FRONT PORCH COLUMN (COLOR: WHITE) FYPON OR EQUAL
18. 29" x 30" DECORATIVE VENTED LOUVER (COLOR: WHITE) FYPON OR EQUAL



RIGHT SIDE ELEVATION

1/8" = 1'-0"



LEFT SIDE ELEVATION

1/8" = 1'-0"



10 UNIT BUILDING FRONT ELEVATION

1/8" = 1'-0"

PROPOSED BUILDING
Iron Horse Commons
 Sand Drive
 City of West Bend, Washington County

Issue Date:
10 / 31 / 2023

Revision:

Project Number:
23013

Sheet Title:
EXTERIOR ELEVATIONS
10 UNIT BUILDING
B-1 BUILDING

Sheet Number:

A-201

EXTERIOR MATERIALS:

1. 50 YEAR DIMENSIONAL FIBERGLASS SHINGLES
2. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: PEARL GRAY)
3. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: WHITE)
4. WHITE BOARD AND BATTON
5. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: COUNTRYLANE RED)
6. HARDIE TRIM OR LP SMARTSIDE FASCIA (COLOR: ARCTIC WHITE)
7. STAGGERED SHAKE SIDING (COLOR: AGED PEWTER)
8. BRICK (COLOR: INTERSTATE BRICK ALMOND, MORTAR COLOR: CREAM)
9. HARDIE OR LP VENTED SOFFIT (COLOR: ARCTIC WHITE)
10. HARDIETRIM OR LP SMARTSIDE TRIM 3.5 IN. (COLOR: ARCTIC WHITE)
11. HARDIETRIM OR LP SMARTSIDE TRIM 6 IN. (COLOR: ARCTIC WHITE)
12. HARDIETRIM OR LP SMARTSIDE TRIM 12 IN. (COLOR: ARCTIC WHITE)
13. PRE-FINISHED GUTTERS AND DOWNSPOUTS
14. INSULATED RAISED PANEL GARAGE DOOR WITH WINDOW PANELS
15. FIBERGLASS SINGLE HUNG WINDOW
16. FIBERGLASS FIXED WINDOW
17. FRONT PORCH COLUMN (COLOR: WHITE) FYPON OR EQUAL
18. 29" x 30" DECORATIVE VENTED LOUVER (COLOR: WHITE) FYPON OR EQUAL



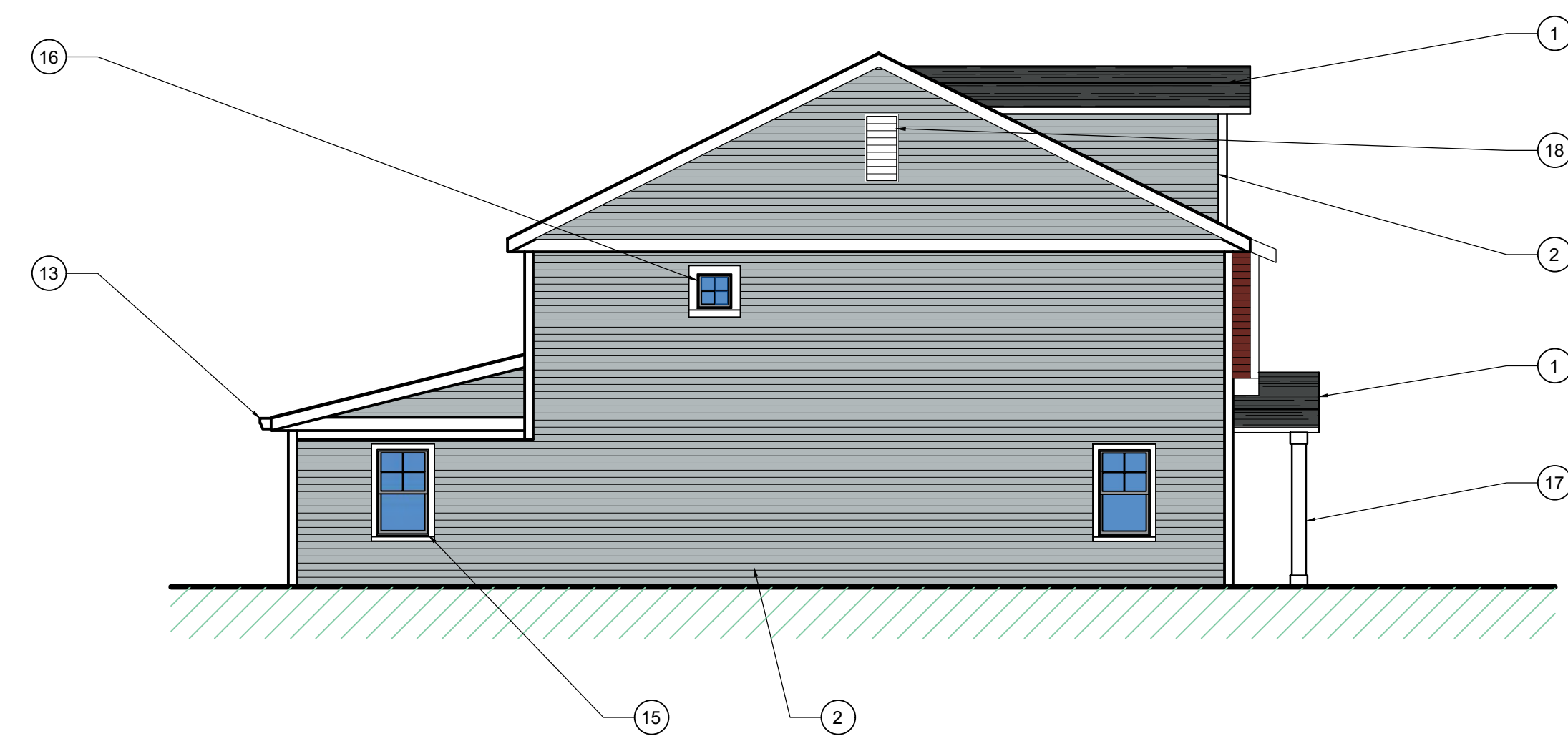
10 UNIT BUILDING REAR ELEVATION

1/8" = 1'-0"



RIGHT SIDE ELEVATION

1/8" = 1'-0"



LEFT SIDE ELEVATION

1/8" = 1'-0"



6 UNIT BUILDING FRONT ELEVATION

1/8" = 1'-0"

PROPOSED BUILDING
Iron Horse Commons
 Sand Drive
 City of West Bend, Washington County

Issue Date:
10 / 31 / 2023

Revision:

Project Number:
23013

Sheet Title:
EXTERIOR ELEVATIONS
6 UNIT BUILDING
B-2 BUILDING

Sheet Number:

A-202

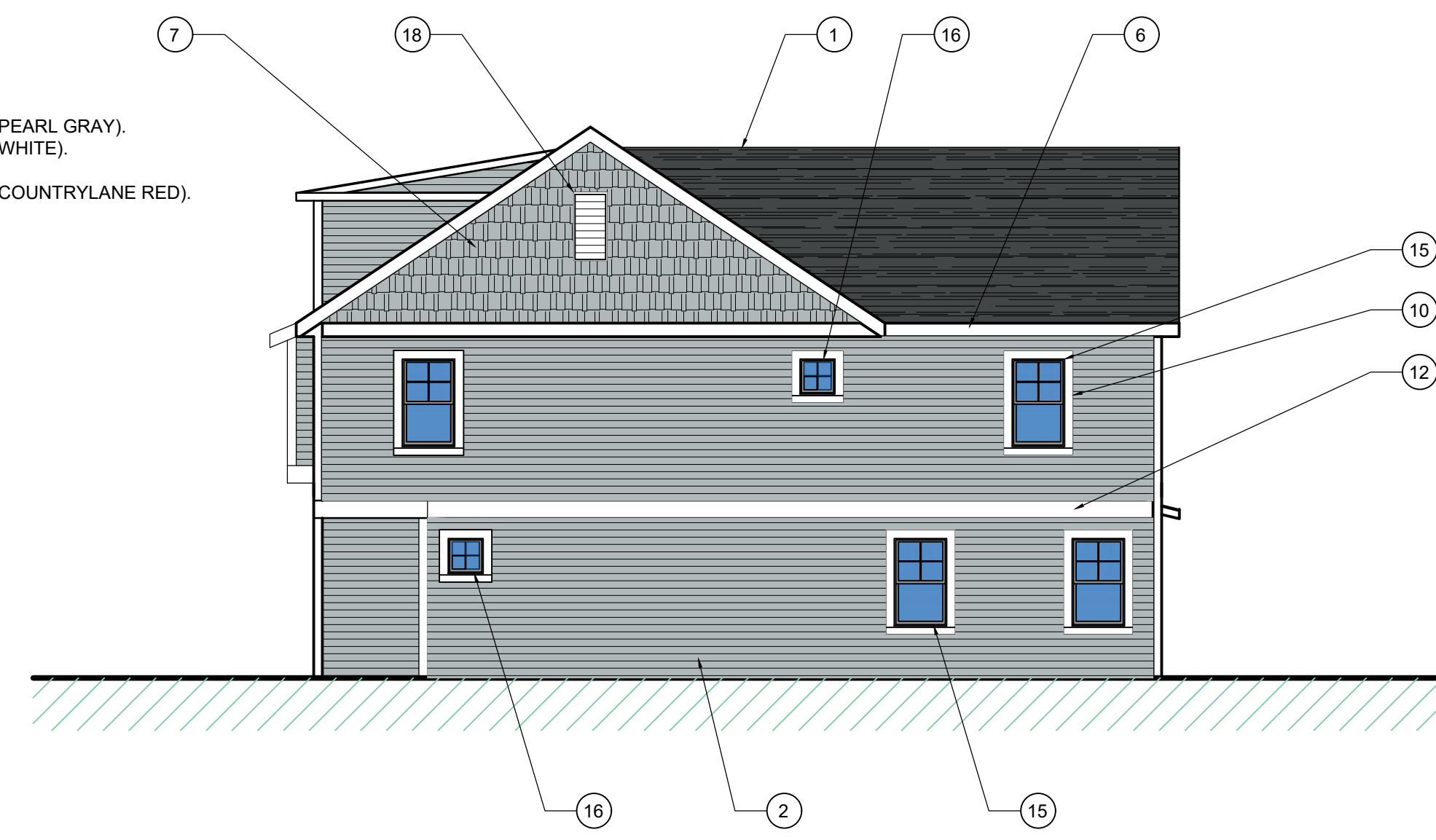


6 UNIT BUILDING REAR ELEVATION

1/8" = 1'-0"

EXTERIOR MATERIALS:

1. 50 YEAR DIMENSIONAL FIBERGLASS SHINGLES
2. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: PEARL GRAY)
3. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: WHITE)
4. WHITE BOARD AND BATTON
5. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: COUNTRYLANE RED)
6. HARDIE TRIM OR LP SMARTSIDE FASCIA (COLOR: ARCTIC WHITE)
7. STAGGERED SHAKE SIDING (COLOR: AGED PEWTER)
8. BRICK (COLOR: INTERSTATE BRICK ALMOND, MORTAR COLOR: CREAM)
9. HARDIE OR LP VENTED SOFFIT (COLOR: ARCTIC WHITE)
10. HARDIETRIM OR LP SMARTSIDE TRIM 3.5 IN. (COLOR: ARCTIC WHITE)
11. HARDIETRIM OR LP SMARTSIDE TRIM 6 IN. (COLOR: ARCTIC WHITE)
12. HARDIETRIM OR LP SMARTSIDE TRIM 12 IN. (COLOR: ARCTIC WHITE)
13. PRE-FINISHED GUTTERS AND DOWNSPOUTS
14. INSULATED RAISED PANEL GARAGE DOOR WITH WINDOW PANELS
15. FIBERGLASS SINGLE HUNG WINDOW
16. FIBERGLASS FIXED WINDOW
17. FRONT PORCH COLUMN (COLOR: WHITE) FYPON OR EQUAL
18. 29" x 30" DECORATIVE VENTED LOUVER (COLOR: WHITE) FYPON OR EQUAL



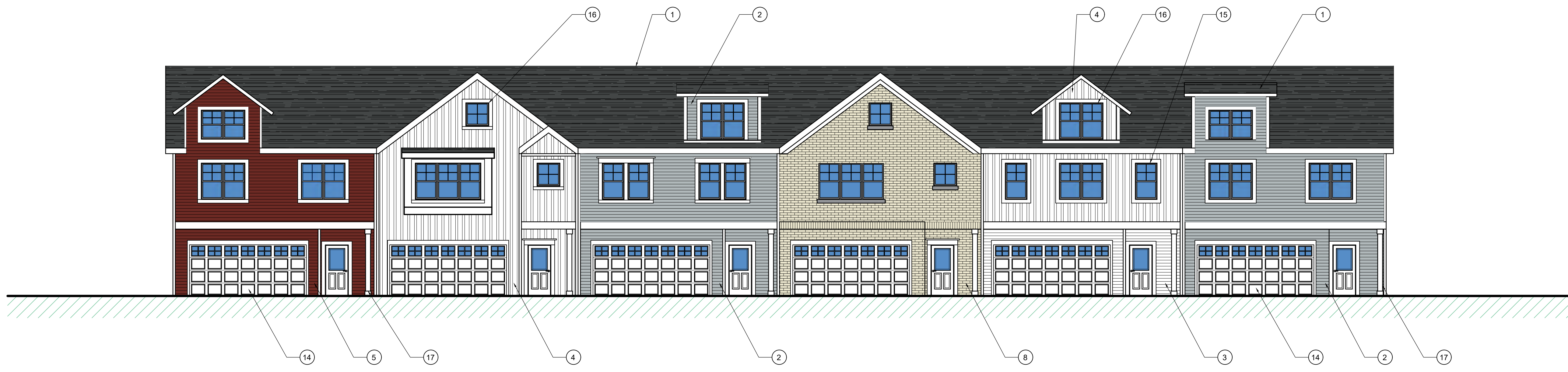
RIGHT SIDE ELEVATION

1/8" = 1'-0"



LEFT SIDE ELEVATION

1/8" = 1'-0"



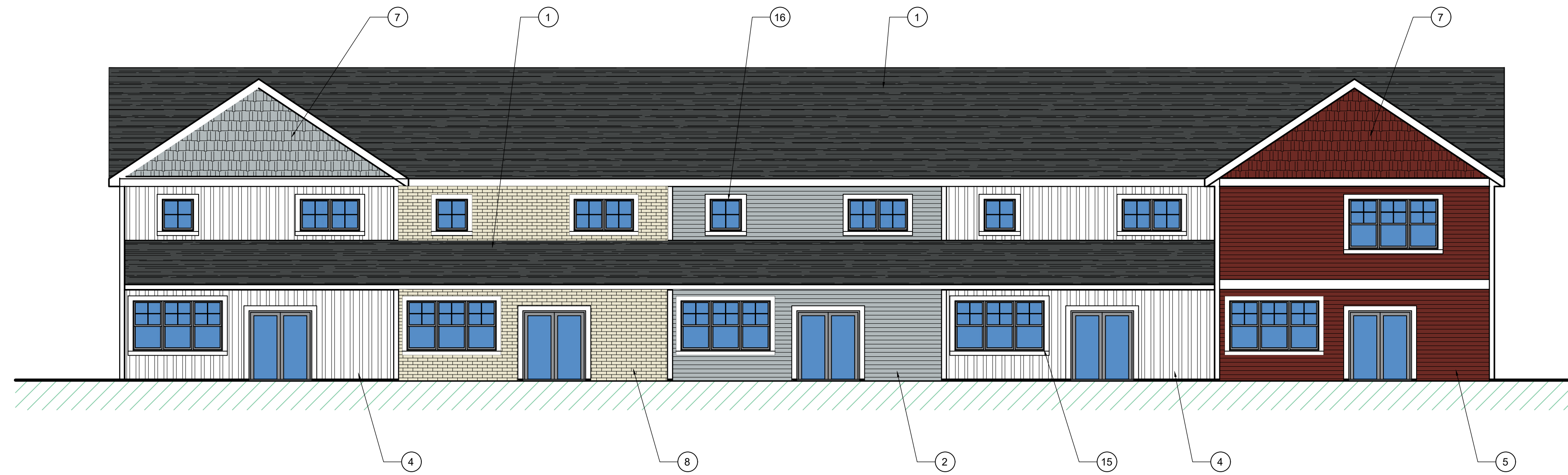
6 UNIT BUILDING FRONT ELEVATION

1/8" = 1'-0"

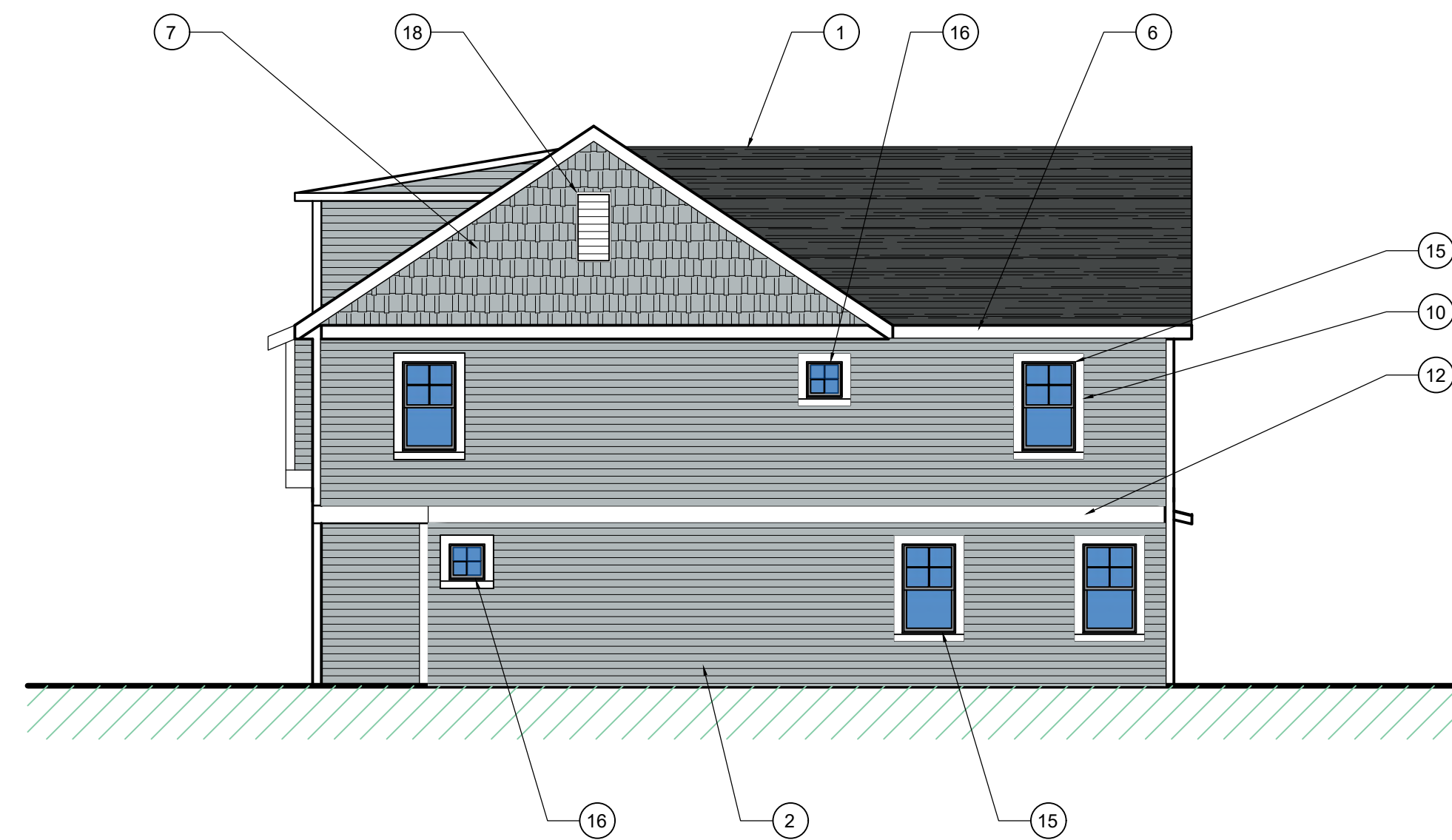


EXTERIOR MATERIALS:

1. 50 YEAR DIMENSIONAL FIBERGLASS SHINGLES
2. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: PEARL GRAY)
3. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: WHITE)
4. WHITE BOARD AND BATTON
5. 5" EXPOSURE HARDIE PLANK OR LP SMARTSIDE LAP SIDING - SMOOTH (COLOR: COUNTRYLANE RED)
6. HARDIE TRIM OR LP SMARTSIDE FASCIA (COLOR: ARCTIC WHITE)
7. STAGGERED SHAKE SIDING (COLOR: AGED PEWTER)
8. BRICK (COLOR: INTERSTATE BRICK ALMOND, MORTAR COLOR: CREAM)
9. HARDIE OR LP VENTED SOFFIT (COLOR: ARCTIC WHITE)
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11. HARDIETRIM OR LP SMARTSIDE TRIM 6 IN. (COLOR: ARCTIC WHITE)
12. HARDIETRIM OR LP SMARTSIDE TRIM 12 IN. (COLOR: ARCTIC WHITE)
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16. FIBERGLASS FIXED WINDOW
17. FRONT PORCH COLUMN (COLOR: WHITE) FYPON OR EQUAL
18. 29" x 30" DECORATIVE VENTED LOUVER (COLOR: WHITE) FYPON OR EQUAL



5 UNIT BUILDING REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



5 UNIT BUILDING FRONT ELEVATION

PROPOSED BUILDING
Iron Horse Commons
 Sand Drive
 City of West Bend, Washington County

Issue Date:
10 / 31 / 2023

Revision:

Project Number:
23013

Sheet Title:
EXTERIOR ELEVATIONS
5 UNIT BUILDING
A-2 BUILDING

Sheet Number:

A-204