



Community Services Agency

June 08, 2016

Submitter:

Paul Philips, PE
1050 S. Grider Street
Appleton, WI 54914

Property Owner:

GREEN BAY C LLC
1726 N BALLARD RD
APPLETON WI 54911-2444

RE: 1937 MAIN ST...21-1323-1
New Bank & Fast Food Restaurant

Site Plan #968, Project # 66511

This site plan is being returned **CONDITIONALLY APPROVED** having been found to be in reasonable conformance with applicable municipal ordinances and standards. However, the conditions of approval, listed below, are to be adhered to during the course of the project.

Engineering Division, Room 300, (920) 448-3100 – Reviewed by Kyle Vander Loop

1. The following permits will be required by the Department of Public Works: Street Excavation, Street Obstruction, Curb Cut, Sidewalk Building Grade.

Inspection Division, Room 610, (920) 448-3300 – Reviewed by Richard Larsen

1. GBFD requires a Knox Box brand lock box to be located near the front main entrance of each building. The Knox Box brand locking boxes can be purchased by calling (920) 448-3280 and requesting a Knox Box brand locking box packet (IFC 506.1 & 506.1.1).

This document is a development agreement between the submitter and the City of Green Bay, which permits the development as conditionally approved. Deviation from this agreement without prior approval is a violation of 40.05, Green Bay Municipal Ordinance, which is subject to cancellation and/or other enforcement efforts.

If you have any questions regarding any of the above items, please feel free to contact the reviewer indicated above the item, or contact the Planning Department/Inspection Division at (920) 448-3300.

Sincerely,

Paul Van Calster, P.E.
Inspection Service Specialist

City of Green Bay

100 North Jefferson
Street
Green Bay, WI 54301

Site Plan Checklist

Final Review

Review #: 968, Project #: 66511 1st Rtn: 4/18/2016 2nd Rtn: 5/23/2016

Address: 1937 MAIN ST..21-1323-1

Title: New Bank & Fast Food Restaurant

Descrip:

Contact:

Paul Philips, PE

1050 S. Grider Street
Appleton, WI 54914
843-9691

Planning Division 1st Review: 3/30/2016

2nd Review: 5/11/2016

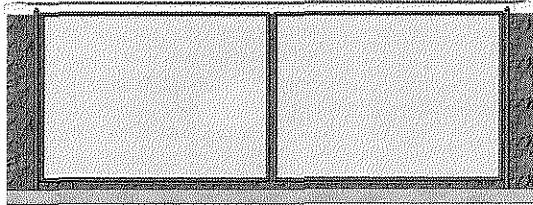
- 1- Zoning District
- 2- Prop. dim., legal description
- 3- Driveways - exist & proposed
- 4- R.O.W. shown
- 5- Landscaping in setbacks
- 6- Building uses identified
- 7- Parking & loading, ADA
- 8- Curbs, wheelblocks, barricades
- 9- Parking lot surfacing
- 10- Fencing
- 11- "IN" & "OUT" signs
- 12- Signage, location & size
- 13- Utilities, easements, etc.

OK
PN
6-7-16

- | # | Code | 1st Review Comment |
|----|------|--|
| 1- | | Please provide building facade elevations and proposed materials for both buildings. |
| 2- | | A 15' landscape buffer is required along the north property line per Chapter 13-1820 Green Bay Zoning Code. |
| 3- | | Indicate the shared access agreement with the adjoining property owner to the west and east. |
| 4- | | Maximum driveway openings are 25 feet that the property line and 35 feet at the curb line. |
| 5- | | Provide a detail of the trash enclosure. |
| 6- | | Indicate the use and square footage of each use within the buildings A & B and the required parking per Chapter 13-1719, Table 17-2. |
| 7- | | Indicate impervious coverage for each lot. |
| 8- | | |

- | # | Code | 2nd Review Comment |
|---------------|------|--|
| 1- | | Please provide building facade elevations and proposed materials for both buildings. |
| 2- | | A 15' landscape buffer is required along the north property line per Chapter 13-1820 Green Bay Zoning Code. Please indicate the placement of the fence/wall/hedge or berm. |
| 3- | | Please provide a detail of the trash enclosure that include all side walls and materials complaint with Chapter 13-1813. |

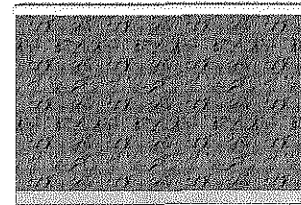
6'-11"



CMU COLOR TO
CORRESPOND TO
BUILDING

Ref. Level
0'-0"

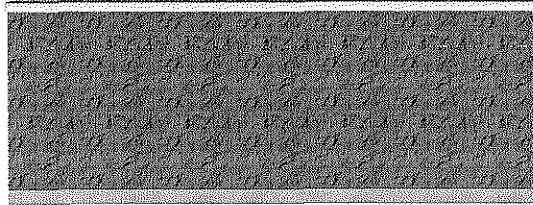
6'-11"



CMU COLOR TO
CORRESPOND TO
BUILDING

Ref. Level
0'-0"

6'-11"



CMU COLOR TO
CORRESPOND TO
BUILDING

Ref. Level
0'-0"

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND ALL WAYS, MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCY CODES, STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY SITE PERMITS AND LICENSES FROM THE APPLICABLE GOVERNING AUTHORITIES.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- UNLESS OTHERWISE NOTED ON THE PLANS, CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERING OR PUBLIC WORKS DEPARTMENT AND/OR OTHER PROJECT GOVERNING AUTHORITY(S) A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS AND TO SCHEDULE ANY REQUIRED SITE INSPECTIONS.
- CONTRACTOR SHALL SCHEDULE A UTILITY LOCATING SERVICE AND/OR NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION. ANY NECESSARY RELOCATIONS OR REMOVALS OF EXISTING UTILITY LINES SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
- ALL EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE SURVEYOR ACCORDING TO INFORMATION AVAILABLE FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.
- ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNER(S).
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
- ALL PROPERTY MARKERS AND SURVEY REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
- THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE CONSTRUCTION OPERATIONS ABUT PUBLIC THROUGH-FARES AND ADJACENT PROPERTY.
- ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITION OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.
- PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPAL ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF 12 (TWELVE) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.
- ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(S), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM (WHERE APPLICABLE TO THE SCOPE OF WORK) THE FOLLOWING ITEMS:
 - TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
 - HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.
 - RIM AND INVERT AND/OR TOP OF PIPE ELEVATIONS FOR ALL PROPOSED UTILITIES.
 - AS-BUILT AND/OR RECORD DRAWING INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION. ANY AND ALL DEVIATIONS FROM THESE APPROVED PLANS SHALL BE SHOWN BY MEANS OF STRIKING THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.

SITE GRADING AND PAVING NOTES:

- ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THE PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF LEGALLY OFFSITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
- EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING. UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 6" TOPSOIL RE-SPREAD AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.
- THE GEOTECHNICAL INVESTIGATION REPORT FOR THE SITE AND ALL ADDENDA THERETO ARE SUPPORTING DOCUMENTS FOR THIS PROJECT. THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY A SOILS ENGINEER OR HIS REPRESENTATIVE. FURTHER CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.
- ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH AND PERFORMED AT THE DIRECTION OF THE OWNER'S GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
- THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.
- REMOVED PAVEMENTS, SIDEWALKS, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFFSITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.
- ON AND OFFSITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVEMENT SECTION (ROADS, WALKS, DRIVE, ETC.) OR TOPSOIL AS INDICATED ON THE PLANS.
- CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
- ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
- SITE GRADING AND CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
- CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE THE SURFACE DRAINAGE SYSTEM.
- TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE APPLICABLE STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.

WATER AND SEWER SEPARATION NOTES:

- WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER, OR SEWER SERVICE CONNECTION.
- WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
 - LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; AND
 - THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER; AND
 - THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
- WHEN IT IS IMPOSSIBLE TO MEET 1) OR 2) ABOVE, BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED FOR THE MAXIMUM EXPECTED SURCHARGE HEAD PRIOR TO BACKFILLING.
- WATER MAINS SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS, OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
- BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN:
 - WHEN IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 4) ABOVE; OR THE WATER MAIN PASSES UNDER A SEWER OR DRAIN
- A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. THE SEWER OR DRAIN LINES SHALL BE SUPPORTED TO PREVENT SETTLING AND BREAKING OF THE WATER MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
- CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

























WATER MAIN AND WATER SERVICE NOTES:

- ALL WATER MAIN CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD C900 WITH PRESSURE RATED FLEXIBLE (O-RING) SLIP ON JOINTS CONFORMING TO ASTM D3139, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATER MAIN PIPE SHALL BE LAID WITH A MINIMUM COVER OF SIX (6) FEET FROM THE PROPOSED FINISH GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE ELEVATION INDICATED ON THE PLANS FOR THE WATER MAIN. NO BERMS ARE ALLOWED OVER WATER MAINS EXCLUSIVELY FOR THE PURPOSE OF OBTAINING ADEQUATE GROUND COVER.
- DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF 8-MIL POLYETHYLENE ENCASEMENT TO PREVENT CORROSION.
- WATER MAIN TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
 - WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING LOCAL STANDARD GRADATIONS.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR MAXIMUM DRY DENSITY, PER ASTM D698, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR MAXIMUM DRY DENSITY, PER ASTM D698, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER PROPOSED LAWN OR LANDSCAPED AREAS.
- A WATERTIGHT PLUG SHALL BE PLACED IN THE END OF THE WATER MAIN PIPE AT THE END OF EACH CONSTRUCTION DAY.
- UPON COMPLETION OF THE WATERMAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:
 - HYDROSTATIC PRESSURE AND LEAKAGE TESTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL BE WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
 - DISINFECTION IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE METHODS STATED IN AWWA STANDARD C651 AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
- WATER SERVICE PIPING AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE "K" COPPER TUBING CONFORMING TO ASTM B88-14. NO COUPLINGS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOPS OR BETWEEN THE CURB STOP AND THE BUILDING.
- WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE FURNISHED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD "WATER" CAST IN THE TOP.
- VALVES, VALVE BOXES OR VAULTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.
- VALVE VAULTS SHALL HAVE A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE CONE SECTION. THE VAULTS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VAULTS SHALL BE LEAK PROOF.
- TEMPORARY CONNECTIONS FOR CONSTRUCTION PURPOSES TO NEWLY INSTALLED OR EXISTING WATER MAINS SHALL BE MADE AND METERED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. BUTYL ROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
- BENDS ON 4" AND GREATER WATER LINES SHALL BE PROVIDED WITH RESTRAINED JOINTS. (MEGALUG SERIES 2000 OR APPROVED EQUAL)

STORM SEWER NOTES:

- ALL STORM SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C443.
- HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F2306 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212.
- PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE SDR 35 PIPE PER ASTM D3034 FOR PIPE SIZES 6" THROUGH 15" WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212, UNLESS OTHERWISE NOTED.
- STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
 - STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D3212. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING LOCAL STANDARD GRADATIONS.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR MAXIMUM DRY DENSITY, PER ASTM D698, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR MAXIMUM DRY DENSITY, PER ASTM D698, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER PROPOSED LAWN OR LANDSCAPED AREAS.
- REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. BUTYLROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
- FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.

EXISTING LEGEND:

	HARRISON/BERNTSEN MONUMENT FOUND
	SANITARY MANHOLE
	SANITARY CLEANOUT
	HOLDING TANK
	STORM MANHOLE
	STORM CATCH BASIN
	CULVERT
	WATER VALVE
	FIRE HYDRANT
	POWER POLE
	DOWN GUY
	GAS VALVE
	GAS METER
	ELECTRICAL PEDESTAL
	TELEPHONE PEDESTAL
	LIGHT
	GROUND LIGHT
	SIGN
	TREE
	UNDERGROUND ELECTRIC
	UNDERGROUND NATURAL GAS
	UNDERGROUND SEWER
	UNDERGROUND STORM DRAIN
	UNDERGROUND WATER LINE

SANITARY SEWER NOTES:

- ALL SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- ALL SANITARY SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 PIPE PER ASTM D3034 FOR PIPE SIZES 6"-15" WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212, UNLESS OTHERWISE NOTED.
 - WHERE SANITARY SEWER PIPE IS NOTED AS PVC C900, THE PIPE SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) C900 WITH WATERTIGHT, PRESSURE RATED JOINTS CONFORMING TO ASTM D3139.
- SANITARY SEWER CONSTRUCTION SHALL COMMENCE AT THE EXISTING MANHOLE(S) AND/OR CONNECTION POINT(S) INDICATED ON THE PLANS.
 - A WATERTIGHT PLUG SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT UNTIL THE REMAINDER OF THE PROPOSED SEWERS HAVE BEEN CONSTRUCTED, PROPERLY TESTED AND DEEMED READY FOR FINAL ACCEPTANCE.
- ALL SANITARY SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
 - ALL SANITARY SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D3212. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING LOCAL STANDARD GRADATIONS.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR MAXIMUM DRY DENSITY, PER ASTM D698, OVER ALL SANITARY SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR MAXIMUM DRY DENSITY, PER ASTM D698, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER PROPOSED LAWN OR LANDSCAPED AREAS.
- THE CONTRACTOR IS REQUIRED TO RECORD THE LOCATION OF ALL SEWERS AND FURNISH THE INFORMATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL LOCATE ALL SEWERS BY MEASUREMENTS TO LOT CORNERS OR OTHER PERMANENT SITE FEATURE AND SHALL FURNISH A COPY OF SUCH LOCATIONS TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS INFORMATION SHALL ALSO INCLUDE THE DEPTH OF EACH SEWER. IF THE CONTRACTOR FAILS TO PROPERLY LOCATE ANY SEWER, HE SHALL BE RESPONSIBLE FOR ALL COSTS WHICH ARE INCURRED AS A RESULT OF THE IMPROPERLY LOCATED UTILITIES.
- SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS IN THE PLANS.
 - A FLEXIBLE TYPE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO AND EXITING FROM MANHOLE STRUCTURES AND SHALL BE OF A DESIGN APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. THIS FLEXIBLE JOINT MAY CONSIST OF A SLEEVE OF HIGH QUALITY SYNTHETIC RUBBER WITH A SUBSTANTIAL SERRATED FLANGE WHICH IS CAST DIRECTLY INTO THE WALL OF THE MANHOLE BASE TO FORM A WATERTIGHT SEAL AND PROTRUDES OUTSIDE OF THE MANHOLE WALL TO CONNECT WITH THE PIPE ENTERING/EXITING THE MANHOLE. WHEN THIS TYPE OF FLEXIBLE JOINT IS USED, THE SLEEVE SHALL SLIP OVER THE END OF THE PIPE ADJACENT TO THE MANHOLE BASE AND SHALL BE SECURED BY MEANS OF A STAINLESS STEEL STRAP CLAMP EQUIPPED WITH A DRAW BOLT AND NUT.
- REQUIRED MANHOLE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
- AFTER FINAL ADJUSTMENTS HAVE BEEN MADE, ALL JOINTS IN PRECAST STRUCTURES SHALL BE MORTARED. THE MORTAR SHALL BE COMPOSED OF ONE (1) PART CEMENT TO THREE (3) PARTS SAND, BY VOLUME, BASED ON DRY MATERIALS, AND SHALL BE THOROUGHLY WETTED BEFORE LAYING.
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR MANHOLE, THE FOLLOWING METHOD SHALL BE USED:
 - CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.
- UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION, INCLUDING THE SERVICE LINES, ALL SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTIONS LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL BE WIT

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06/01/16	CONSTRUCTION PLANS

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PROFESSIONAL IN CHARGE

PAUL PHILLIPS
PROFESSIONAL ENGINEER
LICENSE NO. 28069-6

PROJECT MANAGER

PAUL PHILLIPS

QUALITY CONTROL

LARRY DIEHL

DRAWN BY

PETIA STOYANOVA-POUHALEVA

PROJECT NAME

GB REAL ESTATE INVESTMENTS

GREEN BAY WISCONSIN

1923 AND 1937 MAIN STREET

PROJECT NUMBER

201509550

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

C1.0

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GREEN BAY WISCONSIN
1923 AND 1937 MAIN STREET

PROJECT NUMBER
201509550

SHEET TITLE
DEMOLITION PLAN

SHEET NUMBER

C2.0

DEMOLITION PLAN LEGEND:

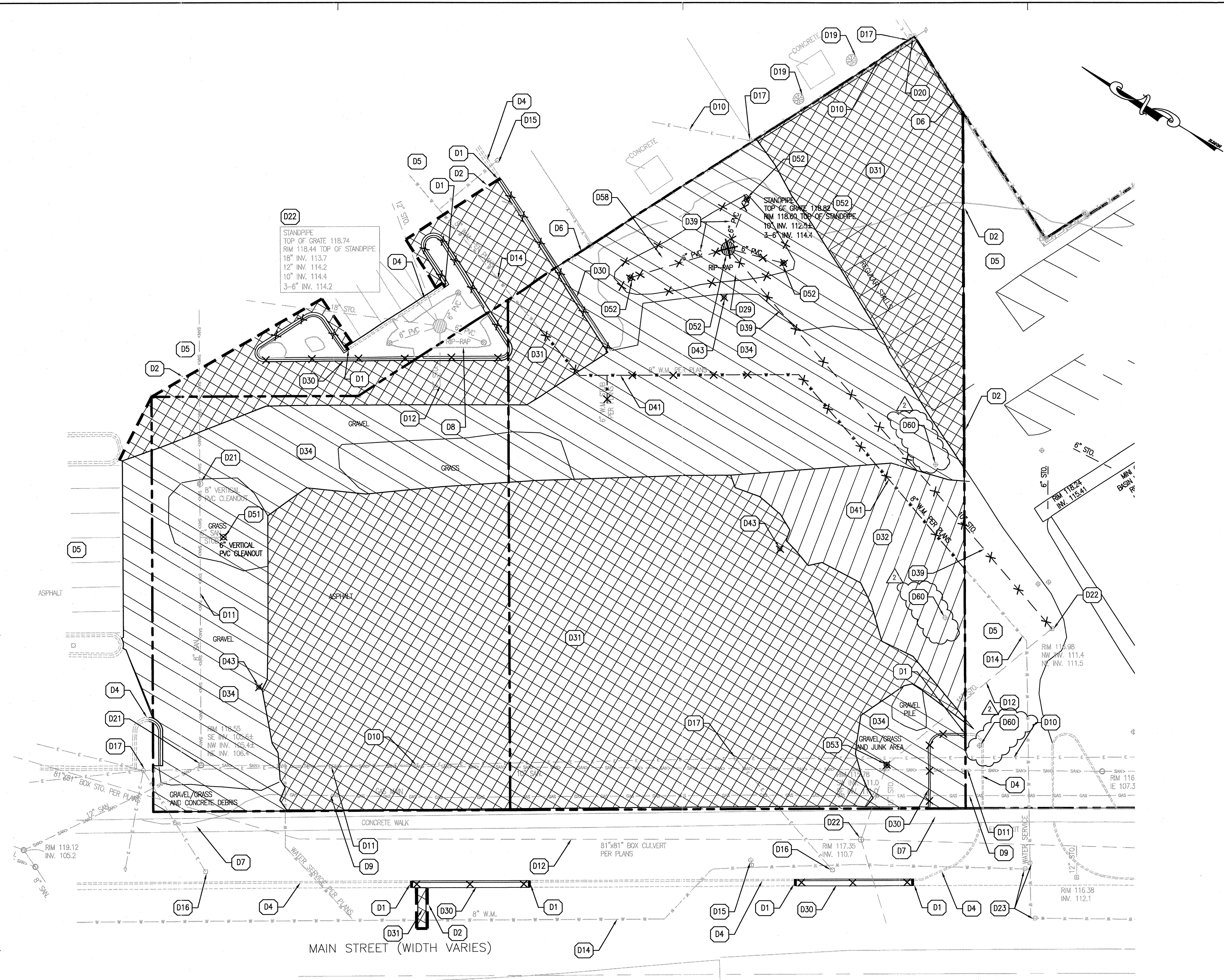
- PROPERTY LINE
 - - - PROPOSED SAW CUT LINE
 - X---X--- EXISTING CURB TO BE REMOVED
 - X---X--- EXISTING CURB AND GUTTER TO BE REMOVED
 - X---X--- EXISTING STORM SEWER SERVICE TO BE REMOVED
 - X---X--- EXISTING WATER SERVICE TO BE REMOVED
 - UTILITY LINE CAP LOCATION
 - X--- EXISTING SANITARY STRUCTURE TO BE REMOVED
 - X--- EXISTING TREE TO BE REMOVED
- NOTE: SEE SHEET C1.0 FOR EXISTING LEGEND

DEMOLITION HATCH LEGEND:

- [D31] EXISTING ASPHALT PAVEMENT TO BE REMOVED
- [D32] EXISTING ASPHALT/GRAVEL MIXTURE TO BE REMOVED
- [D34] EXISTING GRAVEL TO BE REMOVED

DEMOLITION KEY NOTES:

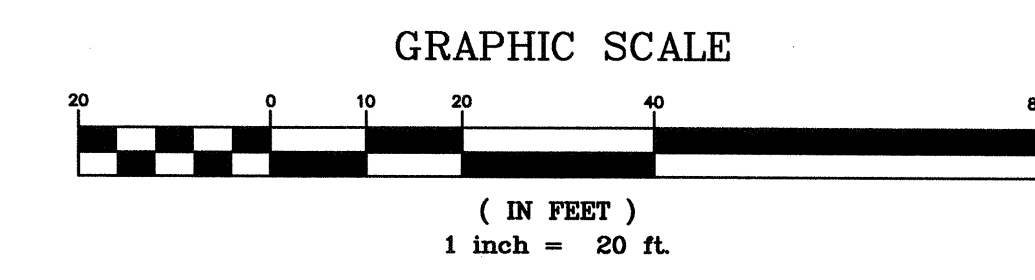
- D1 SAW CUT EXISTING CONCRETE CURB
- D2 SAW CUT EXISTING ASPHALT PAVEMENT
- D4 EXISTING CONCRETE CURB TO REMAIN
- D5 EXISTING ASPHALT PAVEMENT TO REMAIN
- D6 EXISTING CHAIN LINK FENCE TO REMAIN
- D7 EXISTING CONCRETE SIDEWALK TO REMAIN
- D8 EXISTING BIOFILTER TO REMAIN
- D9 APPROXIMATE LOCATION OF EXISTING NATURAL GAS LINE TO REMAIN
- D10 APPROXIMATE LOCATION OF EXISTING OVERHEAD ELECTRICAL LINE TO REMAIN
- D11 EXISTING SANITARY SEWER LINE TO REMAIN
- D12 EXISTING STORM SEWER LINE TO REMAIN
- D14 EXISTING WATER LINE TO REMAIN
- D15 EXISTING FIRE HYDRANT TO REMAIN
- D16 EXISTING LIGHT POLE TO REMAIN
- D17 EXISTING POWER POLE TO REMAIN
- D19 EXISTING TREE TO REMAIN AND BE PROTECTED
- D20 EXISTING TELEPHONE PEDESTAL TO REMAIN
- D21 EXISTING SANITARY STRUCTURE TO REMAIN
- D22 EXISTING STORM STRUCTURE TO REMAIN
- D23 EXISTING WATER STRUCTURE TO REMAIN
- D29 EXISTING BIOFILTER TO BE REMOVED
- D30 EXISTING CONCRETE CURB TO BE REMOVED
- D31 EXISTING ASPHALT PAVEMENT TO BE REMOVED
- D32 EXISTING ASPHALT/GRAVEL MIXTURE TO BE REMOVED
- D34 EXISTING GRAVEL TO BE REMOVED
- D39 EXISTING STORM SEWER LINE TO BE REMOVED
- D41 EXISTING WATER LINE TO BE REMOVED
- D43 EXISTING LIGHT POLE TO BE REMOVED
- D51 EXISTING SANITARY CLEANOUT TO BE REMOVED
- D52 EXISTING STORM STRUCTURE TO BE REMOVED
- D53 EXISTING STORM STRUCTURE TO BE REMOVED AND REPLACED. SEE UTILITY PLAN.
- D58 EXISTING BIOFILTER TO BE REMOVED
- D59 EXISTING WATER MAIN
- D60 MONITORING WELL TO BE PROTECTED



GENERAL DEMOLITION NOTES:

- CONTRACTOR SHALL CONTACT STATE ONE CALL SYSTEM (811) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WORK WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF EXISTING SITE FEATURES NOT NOTED FOR REMOVAL.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED (SEE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL INFORMATION AND DETAILS).
- THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC AND CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
- THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY PROVIDED TO THE ENGINEER FOR DESIGN. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY REQUIRE REMOVAL FOR THE PROPOSED SITE IMPROVEMENTS BUT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES PRIOR TO COMMENCING ANY SITE DEMOLITION OPERATIONS TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE PROPOSED AREA OF WORK.
- CONTRACTOR SHALL COORDINATE ANY SHUT DOWNS OF EXISTING ROADWAYS AND UTILITIES WITH THE NECESSARY GOVERNING AUTHORITIES.
- ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, WHEEL STOPS AND MISCELLANEOUS DEBRIS) NOTED TO BE REMOVED SHALL BE DEMOLISHED, REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED PAVEMENTS, OR WALKS OR WITHIN 24" THEREOF SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT.
- AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED, FINAL GRADE OF BACKFILL IN DEMOLITION AREAS SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT TO PRESENT A NEAT, WELL DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL PROVIDE TEMPORARY DIVERSION SWALES OR OTHER MEANS OF MAINTAINING ADEQUATE SITE DRAINAGE.
- ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED (REFER TO LANDSCAPE PLANS FOR ALL LANDSCAPING REMOVAL REQUIREMENTS).
- ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION NOTED TO BE REMOVED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR (REFER TO LANDSCAPE PLANS FOR ALL LANDSCAPING REMOVAL REQUIREMENTS).
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- ALL EXISTING SANITARY SEWERS, STORM SEWERS, WATER MAINS OR IRRIGATION LINES AND APPURTENANCES NOTED FOR REMOVAL WITHIN THE AREA OF THE PROPOSED CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. ALL ABANDONED SEWER LINES SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET LONG NON-SHRINK CONCRETE MORTAR PLUGS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS TO HAVE RECYCLABLE MATERIALS REMOVED FROM THE SITE AND RECYCLED.
- EXISTING WATER LINE MARKED FOR REMOVAL SHALL ONLY BE REMOVED AFTER NEW WATER SERVICE HAS BEEN INSTALLED, TESTED, AND APPROVED. REFER TO UTILITY PLAN FOR LOCATION OF NEW WATER LINE.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

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PROPOSED LEGEND:

- PROPERTY LINE
 - ===== PROPOSED CONCRETE CURB AND GUTTER
 - ===== PROPOSED REVERSE PITCH CURB AND GUTTER
 - ===== PROPOSED DEPRESSED CURB AND GUTTER
 - ⑦ PROPOSED PARKING STALL COUNT
 - PROPOSED CONCRETE WHEEL STOP
 - PROPOSED SIGN
 - PROPOSED PYLON SIGN
 - PROPOSED LIGHT POLE
 - PROPOSED STORM SEWER STRUCTURES
 - PROPOSED SANITARY SEWER STRUCTURES
 - PROPOSED SANITARY SEWER GREASE INTERCEPTOR
 - ⊗ PROPOSED GATE VALVE AND VALVE BOX
- NOTE: SEE SHEET C1.0 FOR EXISTING LEGEND

PAVEMENT HATCH LEGEND:

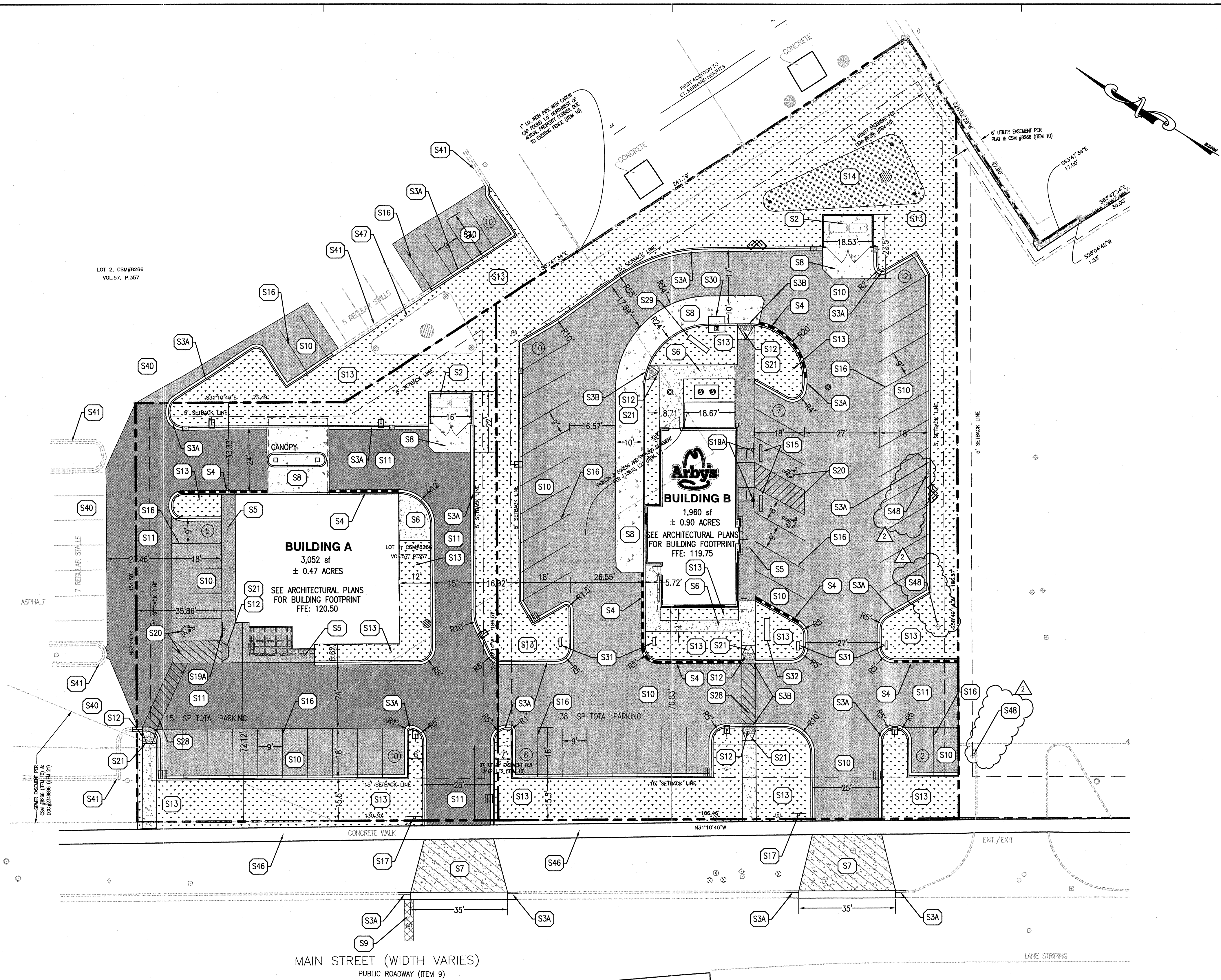
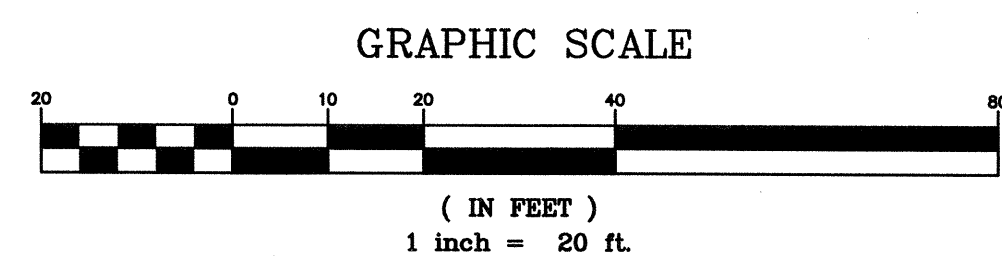
- S5 PROPOSED CONCRETE SIDEWALK WITH INTEGRAL CURB
5" PORTLAND CEMENT CONCRETE
4" AGGREGATE BASE
- S6 PROPOSED CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
4" AGGREGATE BASE
- S7 CONCRETE DRIVEWAY APRON
PER CITY CODE
- S8 PROPOSED HEAVY DUTY CONCRETE PAVEMENT WITH INTEGRAL CURB
SEE ARCHITECTURAL PLANS FOR DETAILS
- S9 PROPOSED REPAIR PAVEMENT
PER CITY CODE
- S10 PROPOSED ASPHALT PAVEMENT
1.5" SURFACE COURSE (E-0.3)
2.0" BINDER COURSE (E-0.3)
10" 1.25" CRUSHED STONE (WISDOT SECTION 305)
(SEE GEOTECHNICAL REPORT)
- S11 PROPOSED HEAVY DUTY ASPHALT PAVEMENT
1.5" SURFACE COURSE (E-0.3)
3.0" BINDER COURSE (E-0.3)
12" 1.25" CRUSHED STONE (WISDOT SECTION 305)
(SEE GEOTECHNICAL REPORT)
- S12 PROPOSED DETECTABLE WARNING PLATE
- S13 PROPOSED LANDSCAPE AREA
(SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S14 PROPOSED BIOFILTER

PARKING SUMMARY CALCULATIONS:

PARKING BANK	REQUIRED	PROVIDED
BANK	10 STALLS (1 PER 300 SF)	15 (INCLUDING 1 ADA STALLS)
ARBYS	17 STALLS (1 PER 3 SEATS OR 1 PER 100 SF INTERIOR AND 1 PER 200 SF EXTERIOR SEATING AREA)	39 (INCLUDING 2 ADA STALLS)

SITE PLAN NOTES:

- REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY PSI AND DATED OCTOBER 30TH, 2015 FOR ADDITIONAL INFORMATION REGARDING THE EXISTING SOIL CONDITIONS AND SUBGRADE PREPARATION REQUIREMENTS AND PROPOSED PAVEMENT RECOMMENDATIONS.
- SEE CONSTRUCTION DETAILS SHEET C7.0 FOR PAVEMENT SECTION DETAILS.
- SEE GENERAL NOTES SHEET C1.0 FOR EXISTING LEGEND.



GENERAL SITE NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
- CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SITE KEY NOTES:

- S2 PROPOSED TRASH ENCLOSURE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S3A PROPOSED CONCRETE CURB AND GUTTER
- S3B PROPOSED DEPRESSED CONCRETE CURB AND GUTTER
- S4 PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER
- S5 PROPOSED CONCRETE SIDEWALK WITH INTEGRAL CURB
- S6 PROPOSED 5" CONCRETE SIDEWALK
- S7 CONCRETE DRIVEWAY APRON - PER CITY CODE
- S8 PROPOSED HEAVY DUTY CONCRETE WITH INTEGRAL CURB
- S9 PROPOSED REPAIR PAVEMENT
- S10 PROPOSED ASPHALT PAVEMENT
- S11 PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- S12 PROPOSED DETECTABLE WARNING PLATE
- S13 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S14 PROPOSED BIOFILTER
- S15 PROPOSED PRECAST CONCRETE WHEEL STOP (TYP. OF 6)
- S16 PROPOSED 4" PAVEMENT STRIPING PER LOCAL CODE
- S17 PROPOSED 30" R1-1 STOP SIGN
- S18 PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE (TYP. OF 2)
- S19A PROPOSED CONCRETE DRIVEWAY APRON PER CITY CODE
- S19B PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE - MOUNT ON BUILDING WALL

- S20 PROPOSED HANDICAP ACCESSIBLE PARKING STALL STRIPING AND SYMBOL PER LOCAL CODE (TYP.)
- S21 PROPOSED HANDICAP ACCESSIBLE CURB RAMP AT 12:1 MAXIMUM SLOPE PER LOCAL CODES
- S28 PROPOSED CROSSWALK STRIPING
- S29 PROPOSED DRIVE-THRU MENU BOARD
- S30 PROPOSED DRIVE-THRU CANOPY AND SPEAKER
- S31 PROPOSED DIRECTIONAL SIGN
- S32 PROPOSED ARBY'S SIGN
- S40 EXISTING ASPHALT PAVEMENT TO REMAIN
- S41 EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- S42 EXISTING SIDEWALK TO REMAIN
- S43 EXISTING BIOFILTER TO REMAIN
- S46 EXISTING MONITORING WELL TO REMAIN. ADJUST HEIGHT TO MATCH PROPOSED GRADE

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PROPOSED LEGEND:

- PROPERTY LINE
- ==== PROPOSED CONCRETE CURB AND GUTTER
- ==== PROPOSED DEPRESSED CONCRETE CURB AND GUTTER
- ==== PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER
- - - - - PROPOSED CONTOUR
- 119.00 TC
118.50 FL PROPOSED SPOT ELEVATION
- FFE: FINISHED FLOOR ELEVATION
TC: TOP OF CURB ELEVATION
FL: CURB FLOWLINE ELEVATION
C: TOP OF CONCRETE ELEVATION
P: TOP OF PAVEMENT ELEVATION
FG: FINISHED GRADE ELEVATION
ME: MATCH EXISTING ELEVATION
- - - - - PROPOSED GRADING RIDGE LINE
- PROPOSED DRAINAGE FLOW DIRECTION
- ⊞ PROPOSED STORM SEWER INLET
- ⊞ PROPOSED STORM SEWER CLEAN OUT

GRADING & DRAINAGE KEY NOTES:

- G1 FIELD VERIFY AND MATCH EXISTING ELEVATION AT PROJECT SCOPE OF WORK LIMITS (TYP.)
- G2 PROPOSED ROOF DRAIN LOCATION (SEE UTILITY PLAN FOR MORE INFORMATION)
- G3 PROPOSED STORM INLET - SEE UTILITY PLAN
- G4 CURB TRANSITION FOR 0" TO 6" IN HEIGHT
- G5 PROPOSED STORM RISER STRUCTURE - SEE UTILITY PLAN
- G6 PROPOSED 2" WIDE CURB OPENING FOR DRAINAGE
- G7 PROPOSED 1880 SQ. FT. BIOFILTER (SEE CROSS SECTION DETAIL ON SHEET C7.1 AND SEE LANDSCAPE PLANS FOR REQUIRED PLANTINGS)
- G8 EXISTING BIOFILTER
- G9 PROPOSED OBSERVATION WELL
- G10 EXISTING OBSERVATION WELL
- G11 EXISTING MONITORING WELL TO REMAIN. ADJUST HEIGHT TO MATCH PROPOSED GRADE

PROJECT BENCHMARKS:

SITE BENCHMARKS:
BM #1
ELEVATION= 123.42
BM #2
ELEVATION= 119.88

FLOOD NOTE:

PROJECT SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" AS SHOWN ON THE ABOVE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 55009C0276F WITH AN EFFECTIVE DATE OF AUGUST 18, 2009.

PROFESSIONAL IN CHARGE
PAUL PHILLIPS
PROFESSIONAL ENGINEER
LICENSE NO. 28069-6

PROJECT MANAGER
PAUL PHILLIPS

QUALITY CONTROL
LARRY DIEHL

DRAWN BY
PETIA STOYANOVA-POUHALEVA

PROJECT NAME

GB REAL ESTATE INVESTMENTS

GREEN BAY WISCONSIN

1923 AND 1937 MAIN STREET

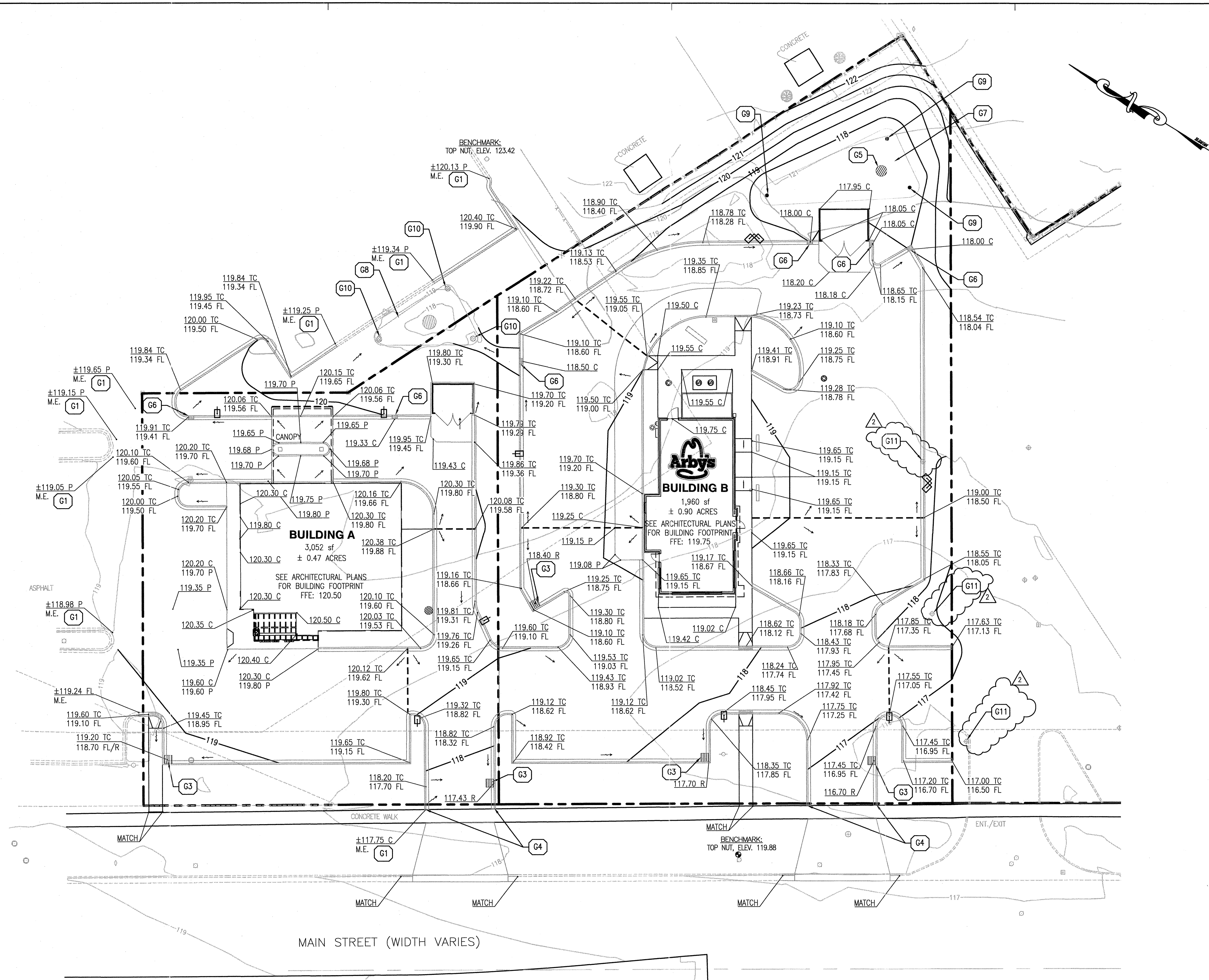
PROJECT NUMBER
201509550

SHEET TITLE

GRADING AND DRAINAGE PLAN

SHEET NUMBER

C4.0



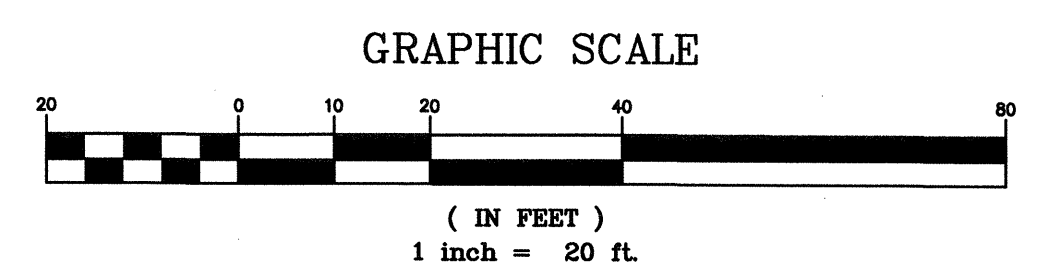
GENERAL GRADING NOTES:

1. ALL GRADING AND SITE PREPARATION WORK SHALL CONFORM WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
2. CONTRACTOR SHALL CAREFULLY PRESERVE ALL SITE BENCHMARKS AND REFERENCE POINTS DURING CONSTRUCTION OPERATIONS.
3. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
4. CONTRACTOR SHALL INSTALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
5. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
6. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL STORM DRAINAGE STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
7. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
8. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL

9. BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
10. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
11. MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
12. MAXIMUM SLOPES WITHIN THE HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
13. MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT CONCRETE SIDEWALKS FOR THE ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.
14. ALL HANDICAP ACCESSIBLE EXTERIOR DOORWAY LOCATIONS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION.
15. EXCAVATION SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
16. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.



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PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
02/19/16	REVIEW SET
03/21/16	CITY SUBMITTAL
04/29/16	CITY RESUBMITTAL
05/04/16	CITY RESUBMITTAL
06/01/16	CONSTRUCTION PLANS

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PAUL PHILLIPS
PROFESSIONAL ENGINEER
LICENSE NO. 28069-6

PROJECT MANAGER
PAUL PHILLIPS

QUALITY CONTROL
LARRY DIEHL

DRAWN BY
PETIA STOYANOVA-POUHALEVA

PROJECT NAME

GB REAL ESTATE INVESTMENTS

GREEN BAY WISCONSIN

1923 AND 1937 MAIN STREET

PROJECT NUMBER
201509550

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C5.0

PROPOSED LEGEND:

- PROPERTY LINE
- STM --- PROPOSED STORM SEWER
- SAN --- PROPOSED SANITARY SEWER
- W --- PROPOSED WATER SERVICE LINE
- ||||| PROPOSED STORM SEWER INLET
- PROPOSED STORM SEWER CLEAN OUT
- ⊙ PROPOSED SANITARY SEWER CLEAN OUT
- ⊗ PROPOSED SANITARY SEWER GREASE INTERCEPTOR
- ⊗ PROPOSED GATE VALVE AND VALVE BOX
- ⊗ PROPOSED LIGHT POLE

NOTE: SEE SHEET C1.0 FOR EXISTING LEGEND

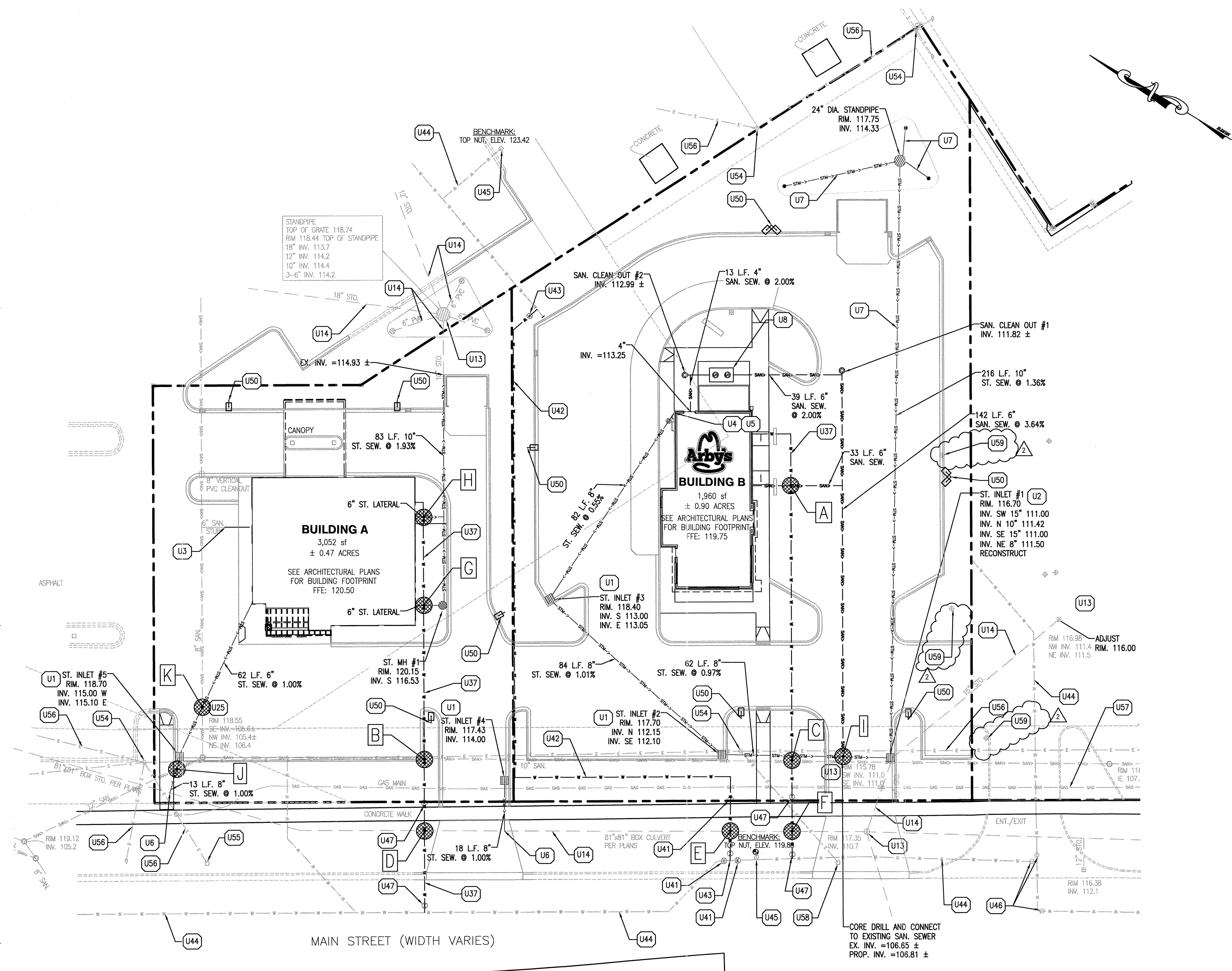
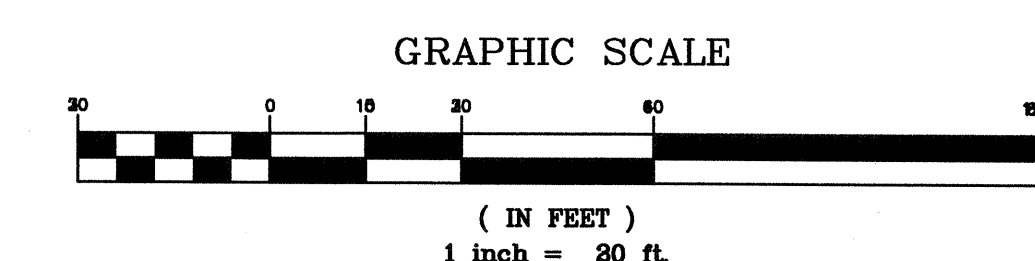
GENERAL UTILITY NOTES:

- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO COMMENCING ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITY STRUCTURES OR PIPING SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNING AUTHORITY REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING SEWER SYSTEMS DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
- SEE THE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS INCLUDING ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.

UTILITY CROSSINGS:

- A TOP OF PROPOSED 6" SANITARY SEWER = 110.8' ±
BOTTOM OF PROPOSED 2" WATER = 111.8' ±
VERTICAL SEPARATION = 1.0' ±
- B TOP OF EXISTING 10" SANITARY SEWER = 106.8' ±
BOTTOM OF PROPOSED 2" WATER = 112.8' ±
VERTICAL SEPARATION = 6.0' ±
- C TOP OF EXISTING 10" SANITARY SEWER = 107.3' ±
BOTTOM OF PROPOSED 2" WATER = 110.6' ±
VERTICAL SEPARATION = 3.3' ±
- D TOP OF PROPOSED 2" WATER = 108.5' ±
BOTTOM OF EXISTING 84" STORM SEWER = 110.0' ±
VERTICAL SEPARATION = 1.5' ±
- E TOP OF PROPOSED 8" WATER = 109.0' ±
BOTTOM OF EXISTING 84" STORM SEWER = 110.5' ±
VERTICAL SEPARATION = 1.5' ±
- F TOP OF PROPOSED 2" WATER = 109.0' ±
BOTTOM OF EXISTING 84" STORM SEWER = 110.6' ±
VERTICAL SEPARATION = 1.6' ±
- G TOP OF PROPOSED 2" WATER = 113.7' ±
BOTTOM OF PROPOSED 6" STORM SEWER = 116.6' ±
VERTICAL SEPARATION = 2.9' ±
- H TOP OF PROPOSED 2" WATER = 113.7' ±
BOTTOM OF PROPOSED 6" STORM SEWER = 116.0' ±
VERTICAL SEPARATION = 2.3' ±
- I TOP OF PROPOSED 6" SANITARY SEWER = 107.4' ±
BOTTOM OF PROPOSED 8" STORM SEWER = 111.6' ±
VERTICAL SEPARATION = 4.2' ±
- J TOP OF EXISTING 12" SANITARY SEWER = 106.4' ±
BOTTOM OF PROPOSED 8" STORM SEWER = 114.9' ±
VERTICAL SEPARATION = 8.5' ±
- K TOP OF EXISTING 8" SANITARY SEWER = 107.7' ±
BOTTOM OF PROPOSED 6" STORM SEWER = 115.3' ±
VERTICAL SEPARATION = 7.6' ±

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UTILITY KEY NOTES:

- U1 PROPOSED PRECAST CONCRETE INLET, 3' DIAMETER MINIMUM, WITH NEENAH R-3015 FRAME AND GRATE AND CONCRETE COLLAR PER INLET DETAIL
- U2 PROPOSED 4" PRECAST CONCRETE CATCH BASIN WITH NEENAH R-3015 FRAME AND GRATE AND CONCRETE COLLAR PER CATCH BASIN DETAIL
- U3 REMOVE CLEANOUT AND EXTEND LATERAL TO BUILDING
- U4 PROPOSED BUILDING ROOF DRAIN CONNECTION (COORDINATE EXACT LOCATIONS AND PIPE SIZES WITH ARCHITECTURAL AND PLUMBING PLANS). CONTRACTOR SHALL INSTALL NEW WYE FITTING AT PROPOSED STORM SEWER CONNECTION POINTS
- U5 PROPOSED STORM SEWER CLEAN OUT
- U6 CORE DRILL AND CONNECT PROPOSED STORM SEWER LINE TO EXISTING STORM SEWER STRUCTURE PER LOCAL CODES (CONTRACTOR TO FIELD VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO CONSTRUCTION.)
- U7 PROPOSED STORM SEWER LINE
- U8 PROPOSED 1,000 GAL. GREASE INTERCEPTOR. CONTRACTOR SHALL VERIFY SIZE WITH LOCAL CODE AUTHORITY. INLET IE = 112.85; OUTLET IE = 112.60
- U13 EXISTING STORM SEWER STRUCTURE TO REMAIN
- U14 EXISTING STORM SEWER LINE TO REMAIN
- U21 PROPOSED 3,000 GALLON SANITARY SEWER GREASE INTERCEPTOR (SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- U23 PROPOSED SANITARY SEWER CLEANOUT
- U24 CONNECT PROPOSED 6" SANITARY SEWER TO EXISTING 12" SANITARY SEWER WITH NEW INSERT TEE AND RISER SECTION PER LOCAL CODES (CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION AND ELEVATION OF EXISTING SANITARY INVERT PRIOR TO INSTALLING PROPOSED SANITARY SEWER LINES)
- U25 EXISTING SANITARY SEWER STRUCTURE TO REMAIN
- U26 EXISTING SANITARY SEWER LINE TO REMAIN
- U30 REMOVE EXISTING CAP AND CONNECT PROPOSED 8" WATER LINE TO EXISTING 8" WATER LINE
- U37 PROPOSED 2" WATER SERVICE LINE
- U41 PROPOSED 8" VALVE
- U42 PROPOSED 8" WATERMAIN - AWWA C-900 PVC
- U43 PROPOSED 8" CUT IN TEE WITH VALVE
- U44 APPROXIMATE LOCATION OF EXISTING WATER MAIN TO REMAIN
- U45 EXISTING FIRE HYDRANT TO REMAIN
- U46 EXISTING WATER VALVE TO REMAIN
- U47 PROPOSED 2" VALVE
- U50 PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN AND BUILDING ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- U54 EXISTING POWER POLE TO REMAIN
- U55 EXISTING LIGHT POLE TO REMAIN
- U56 EXISTING ELECTRIC SERVICE LINE TO REMAIN
- U57 EXISTING GAS SERVICE TO REMAIN
- U58 EXISTING STREET LIGHT TO BE RELOCATED - COORDINATE WITH CITY OF GREEN BAY PUBLIC WORKS DEPARTMENT
- U59 EXISTING MONITORING WELL TO REMAIN

PROJECT TEAM

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PAUL PHILLIPS

QUALITY CONTROL
LARRY DIEHL
DRAWN BY
PETIA STOYANOVA-POUHALEVA

PROJECT NAME
GB REAL ESTATE INVESTMENTS

GREEN BAY WISCONSIN
1923 AND 1937 MAIN STREET

PROJECT NUMBER
201509550

SHEET TITLE
EROSION CONTROL PLAN

SHEET NUMBER
C6.0

PROPOSED LEGEND:

- PROPERTY LINE
- 50 --- PROPOSED CONTOUR
- LAND DISTURBANCE LIMITS (SEE DISTURBED AREA TABLE)
- SF --- PROPOSED SILT FENCE
- ⊕ --- PROPOSED INLET PROTECTION INSERT
- SW3 --- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- SW4 --- PROPOSED CONCRETE WASHOUT (SUGGESTED LOCATION)
- SW5 --- PROPOSED CONTRACTOR STAGING AREA (SUGGESTED LOCATION)
- PROPOSED PROPOSED STRAW WATTLE
- PROPOSED GRADING RIDGE LINE
- --- PROPOSED DRAINAGE FLOW DIRECTION
- ⊠ --- PROPOSED STORM SEWER STRUCTURES

SWPPP KEY NOTES:

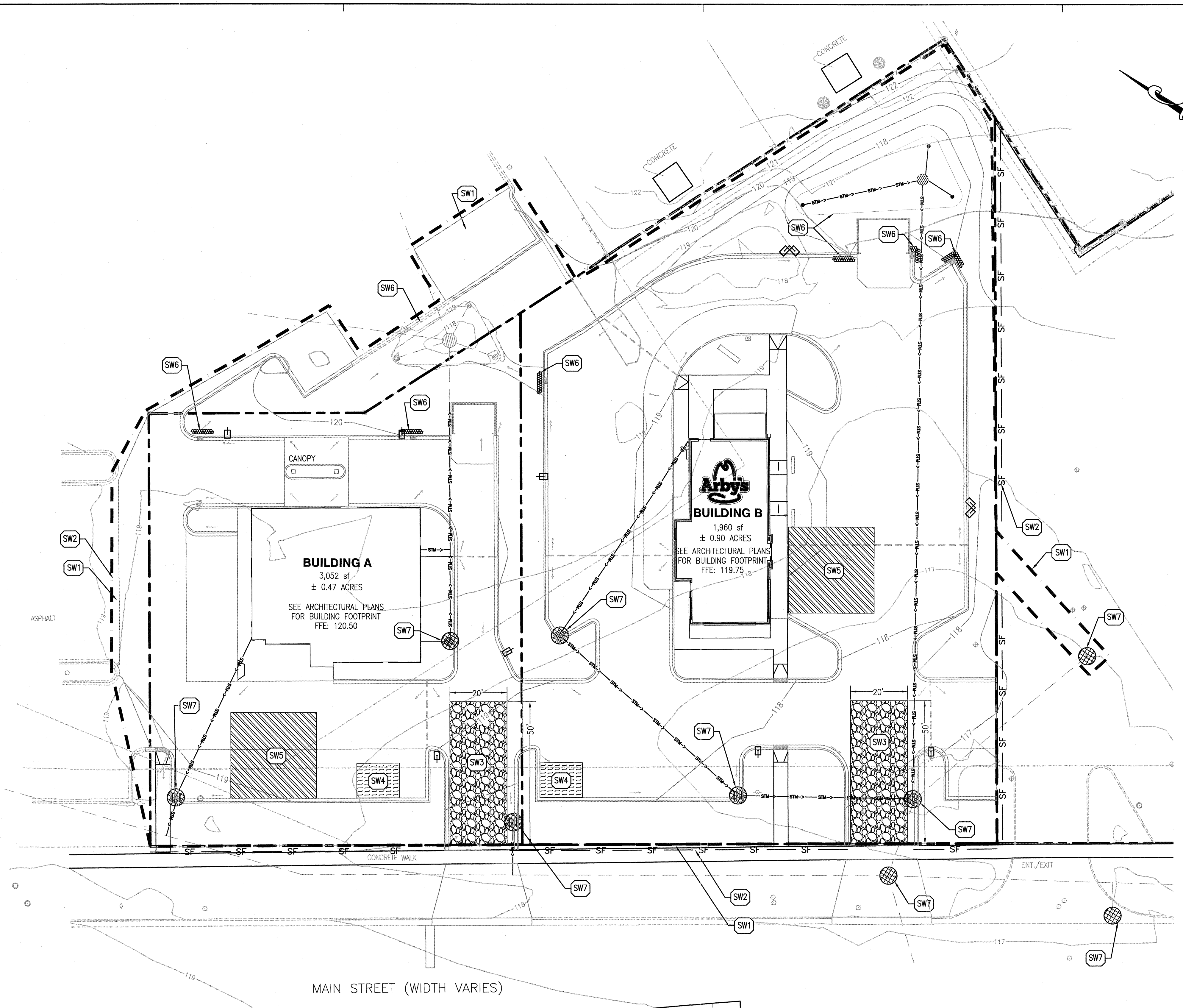
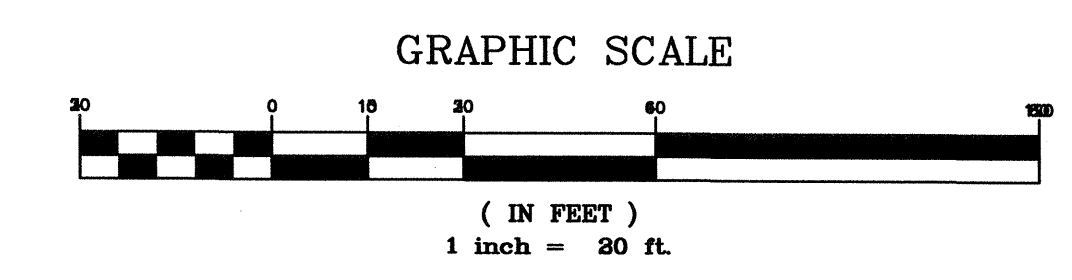
- SW1 PROPOSED PROJECT LAND DISTURBANCE LIMITS
- SW2 PROPOSED SILT FENCE
- SW3 PROPOSED STABILIZED CONSTRUCTION ENTRANCE AND LOCATION SIGNAGE
- SW4 PROPOSED CONCRETE WASHOUT WITH MINIMUM 30-MIL POLYETHYLENE LINING
- SW5 PROPOSED CONTRACTOR STAGING AREA INCLUDING MATERIALS STORAGE, COVERED TRASH DUMPSTER, AND PORTABLE TOILET FACILITIES
- SW6 PROPOSED STRAW WATTLE
- SW7 PROPOSED INLET PROTECTION

SWPPP/SESC CONSTRUCTION SCHEDULE:

1. OBTAIN ALL APPLICABLE SITE PERMITS AND THOROUGHLY REVIEW PROJECT'S EROSION CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP/SESC THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (I.E. SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE).
3. INSTALL INLET PROTECTION DEVICES FOR EXISTING STORM SEWER INLETS AND DRAINAGE STRUCTURES.
4. EXCAVATE PROPOSED BIOFILTER AREA TO SERVE AS SEDIMENT BASIN.
5. PERFORM SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP/SESC.
 - 5.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
 - 5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
6. INSTALL NEW STORM SEWERS AND OTHER SITE UTILITIES AS INDICATED ON THE PLANS.
7. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
8. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY PRIOR TO COMMENCEMENT OF ANY CONCRETE WORK ON SITE.
9. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.)
10. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED FOR AREAS ADJACENT TO THE PROJECT SITE.
11. INSTALL BUILDING FOUNDATION AND COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
12. REMOVE ALL TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION ONCE PERMANENT STABILIZATION OF THE ENTIRE SITE HAS BEEN COMPLETED AND ALL GROUND COVER IS ESTABLISHED.

DISTURBED SITE AREA TABLE:

BANK	
TOTAL DISTURBED AREA:	20,702 SQ. FT. / 0.48 ACRES
IMPERVIOUS AREA:	15,804 SQ. FT. / 0.36 ACRES
PERVIOUS AREA:	4,898 SQ. FT. / 0.12 ACRES
ARBY'S	
TOTAL DISTURBED AREA:	39,582 SQ. FT. / 0.91 ACRES
IMPERVIOUS AREA:	26,669 SQ. FT. / 0.61 ACRES
PERVIOUS AREA:	12,913 SQ. FT. / 0.30 ACRES



SWPPP / SESC NOTES:

1. COPIES OF THE APPROVED SOIL EROSION AND SEDIMENT CONTROL (SESC) PLANS OR STORMWATER POLLUTION PREVENTION PLANS (SWPPP) SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH ANY NECESSARY PERMITS AND INSPECTION FORMS.
2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
3. CONTRACTOR SHALL IMPLEMENT SITE SPECIFIC BEST MANAGEMENT PRACTICES (BMPs) AS SHOWN AND REQUIRED BY THE SWPPP/SESC. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED BY THE CONTRACTOR AS DICTATED BY SITE CONDITIONS OR THE PROJECT GOVERNING AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. ALL BEST MANAGEMENT PRACTICES AND CONTROLS SHALL CONFORM TO THE APPLICABLE FEDERAL, STATE, OR LOCAL REQUIREMENTS, STANDARDS, AND SPECIFICATIONS OR MANUAL OF PRACTICE.
5. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL SOIL EROSION, SEDIMENT AND/OR POLLUTION FROM THE PROJECT SITE, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
6. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN WITHIN THE VICINITY OF THE DISTURBED AREA LIMITS AS SHOWN ON THE PLANS. THESE SHALL BE MAINTAINED UNTIL THE TRIBUTARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER AND/OR APPROPRIATE GROUND STABILIZATION.
7. ALL STREETS ADJACENT TO THE PROJECT SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS. CONTRACTOR SHALL CLEAN ADJACENT PAVEMENTS AT THE END OF EACH WORKING DAY WHEN NECESSARY.
8. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION TO THE EXTENT PRACTICABLE.
9. ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AS SOON AS IS PRACTICABLE.
10. IF DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED.
11. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
12. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
13. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
14. DUST SHALL BE ADEQUATELY CONTROLLED ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
15. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE

- DEPOSITED INTO SEALED TRASH CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
16. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SWALES. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER SYSTEMS IS PROHIBITED.
 17. ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED WITHIN THREE (3) DAYS OF FINAL DISTURBANCE.
 18. ALL SOIL STOCKPILES SHALL BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
 19. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
 - 19.1. WHEN THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 19.2. WHEN CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED (I.E. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS), THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY

- TEMPORARILY CEASES.
20. PRE-QUALIFIED PERSONNEL (PROVIDED BY THE CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
 21. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 4:1 SLOPE OR STEEPER.
 22. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OF OFF SITE BY THE CONTRACTOR.
 23. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY STORM WATER POLLUTION PREVENTION PLAN SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW.
 24. ALL CONSTRUCTION VEHICLE TRAFFIC MUST REMAIN WITHIN THE LIMITS OF CONSTRUCTION.

PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
02/19/16	REVIEW SET
03/21/16	CITY SUBMITTAL
04/29/16	CITY RESUBMITTAL
05/04/16	CITY RESUBMITTAL
06/01/16	CONSTRUCTION PLANS

PROFESSIONAL IN CHARGE

PAUL PHILLIPS
PROFESSIONAL ENGINEER
LICENSE NO. 28069-6

PROJECT MANAGER

PAUL PHILLIPS

QUALITY CONTROL

LARRY DIEHL

DRAWN BY

PETIA STOYANOVA-POUHALEVA

PROJECT NAME

GB REAL ESTATE INVESTMENTS

GREEN BAY WISCONSIN

1923 AND 1937 MAIN STREET

PROJECT NUMBER

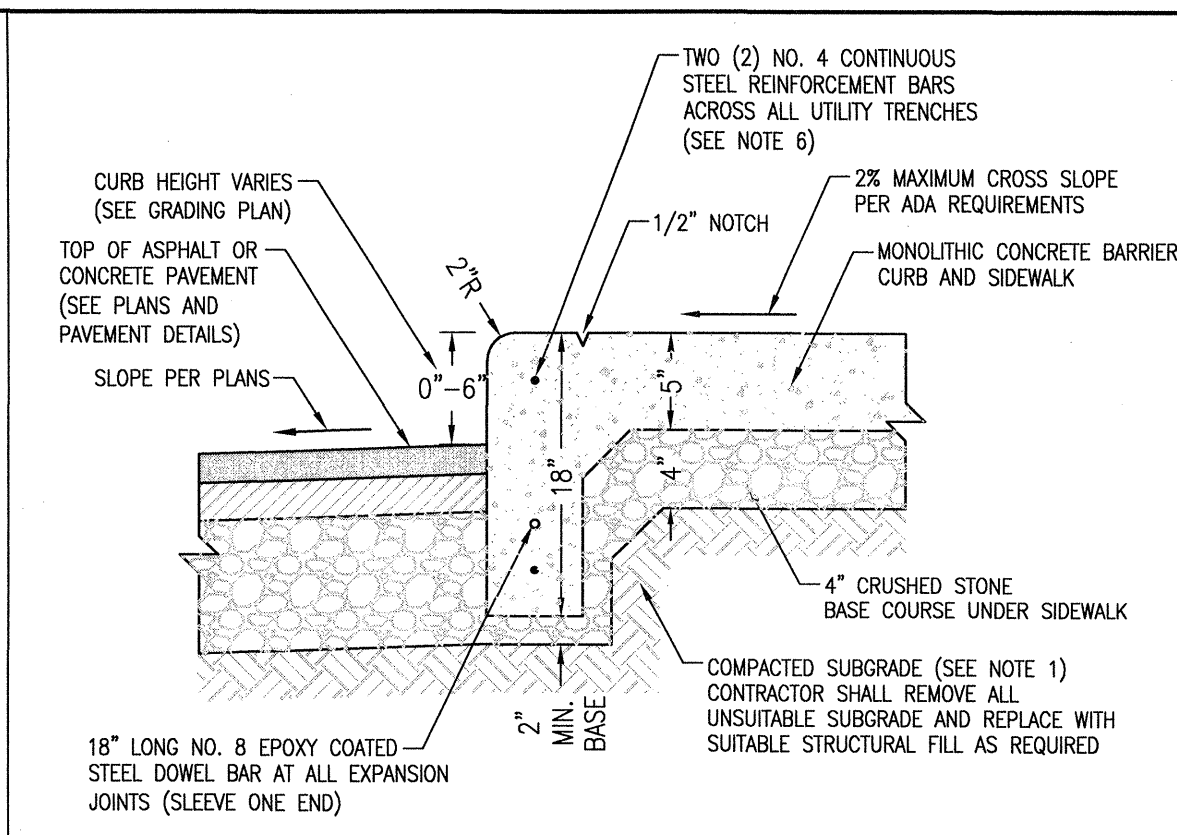
201509550

SHEET TITLE

CONSTRUCTION DETAILS

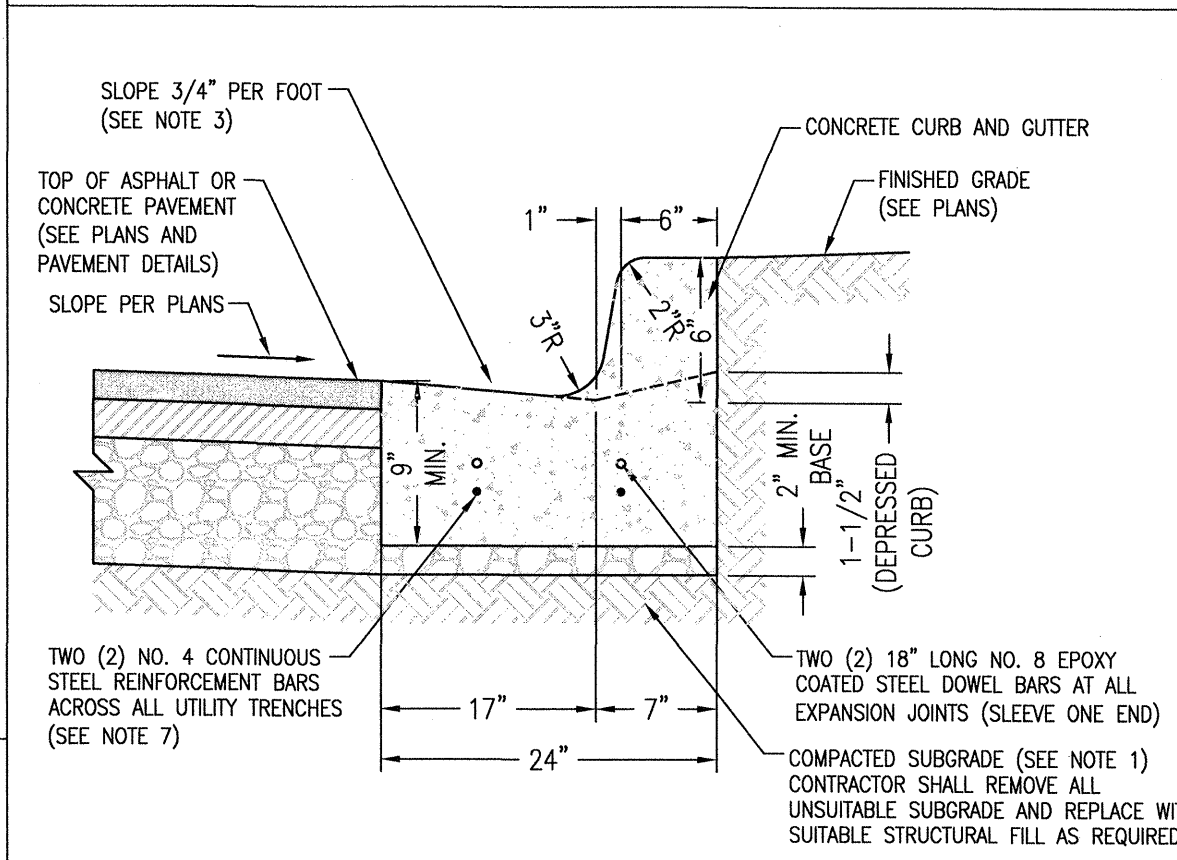
SHEET NUMBER

C7.0



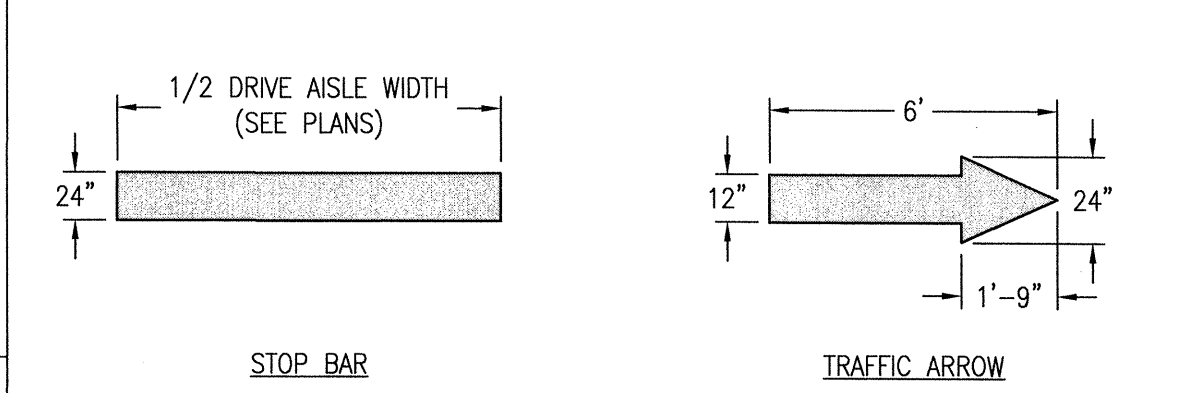
- NOTES:**
- SEE GEOTECHNICAL ENGINEERING REPORT FOR SUBGRADE COMPACTION AND PREPARATION REQUIREMENTS.
 - ALL PORTLAND CEMENT CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
 - PROVIDE INTEGRAL BLACK COLORED CONCRETE SIDEWALK PER PROJECT SPECIFICATIONS WHERE INDICATED ON THE PLANS.
 - CONTROL JOINTS SHALL BE INSTALLED AT FIVE (5) FEET ON CENTER FOR SIDEWALKS AND TEN (10) FEET ON CENTER FOR CURBS UNLESS OTHERWISE NOTED.
 - EXPANSION JOINTS SHALL BE INSTALLED AT FIFTY (50) FEET ON CENTER, CURB AND SIDEWALK RADIUS POINTS, ALL LOCATIONS WHERE NEW CONCRETE SIDEWALKS OR CURBS ADJOIN EXISTING CONCRETE AND FIVE (5) FEET ON EACH SIDE OF ALL UTILITY CASTINGS ADJACENT TO NEW CONCRETE.
 - INSTALL TWO (2) CONTINUOUS NO. 4 STEEL REINFORCEMENT BARS PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND TRENCH.

MONOLITHIC CONCRETE CURB AND SIDEWALK DETAIL
NOT TO SCALE



- NOTES:**
- SEE GEOTECHNICAL ENGINEERING REPORT FOR SUBGRADE COMPACTION AND PREPARATION REQUIREMENTS.
 - ALL PORTLAND CEMENT CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
 - CURB NOTED ON THE PLANS AS "REVERSE PITCH" SHALL HAVE THE GUTTER SLOPE REVERSED TO FLOW AWAY FROM THE FACE OF CURB.
 - CONTROL JOINTS SHALL BE INSTALLED AT TEN (10) FEET ON CENTER UNLESS OTHERWISE NOTED.
 - EXPANSION JOINTS SHALL BE INSTALLED AT FIFTY (50) FEET ON CENTER, CURB RADIUS POINTS, ALL LOCATIONS WHERE NEW CONCRETE CURBS ADJOIN EXISTING CONCRETE AND FIVE (5) FEET ON EACH SIDE OF ALL UTILITY CASTINGS ADJACENT TO NEW CONCRETE.
 - INSTALL TWO (2) CONTINUOUS NO. 4 STEEL REINFORCEMENT BARS PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND TRENCH.

CONCRETE CURB AND GUTTER DETAIL
NOT TO SCALE

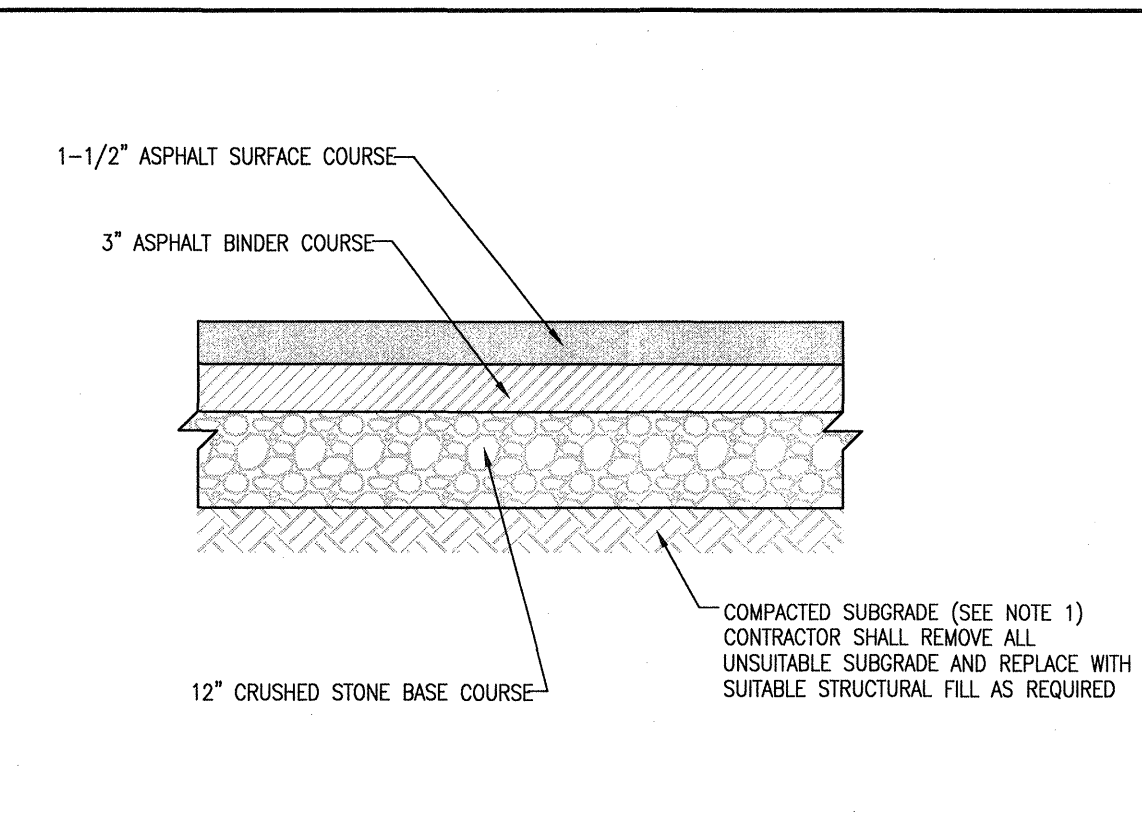


- NOTES:**
- SEE GEOTECHNICAL ENGINEERING REPORT FOR SUBGRADE COMPACTION AND PREPARATION REQUIREMENTS.
 - ALL PORTLAND CEMENT CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
 - CONTROL JOINTS SHALL BE INSTALLED AT FIVE (5) FEET ON CENTER UNLESS OTHERWISE NOTED.
 - EXPANSION JOINTS SHALL BE INSTALLED AT FIFTY (50) FEET ON CENTER, SIDEWALK RADIUS POINTS, ALL LOCATIONS WHERE NEW CONCRETE SIDEWALKS ADJOIN EXISTING CONCRETE AND FIVE (5) FEET ON EACH SIDE OF ALL UTILITY CASTINGS ADJACENT TO NEW CONCRETE.
 - INSTALL TWO (2) CONTINUOUS NO. 4 STEEL REINBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND TRENCH.

STOP BAR AND TRAFFIC ARROW DETAILS
NOT TO SCALE

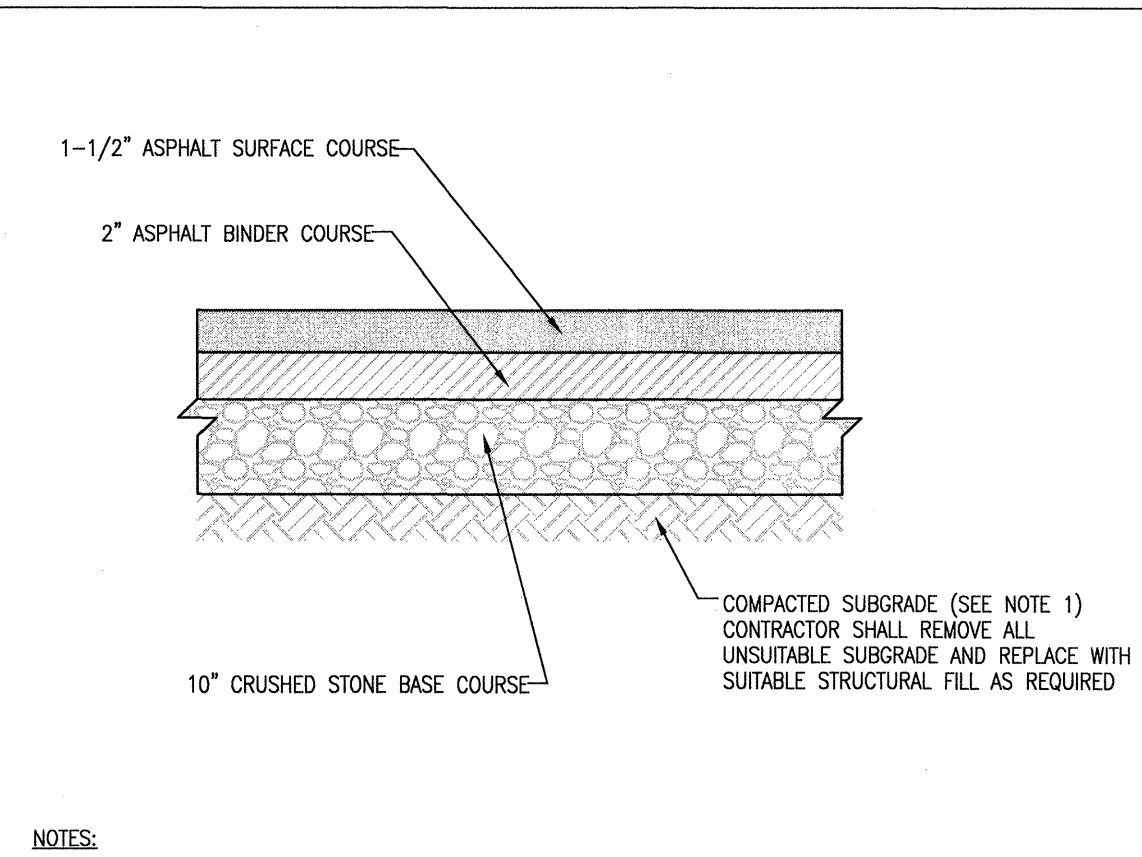


- NOTES:**
- STOP BARS AND TRAFFIC ARROWS SHALL BE PAINTED WHITE WITH HIGH QUALITY REFLECTIVE TRAFFIC PAINT UNLESS OTHERWISE DIRECTED BY LOCAL CODES.
 - SEE PLANS FOR ALL PAVEMENT MARKING LOCATIONS AND ORIENTATION.



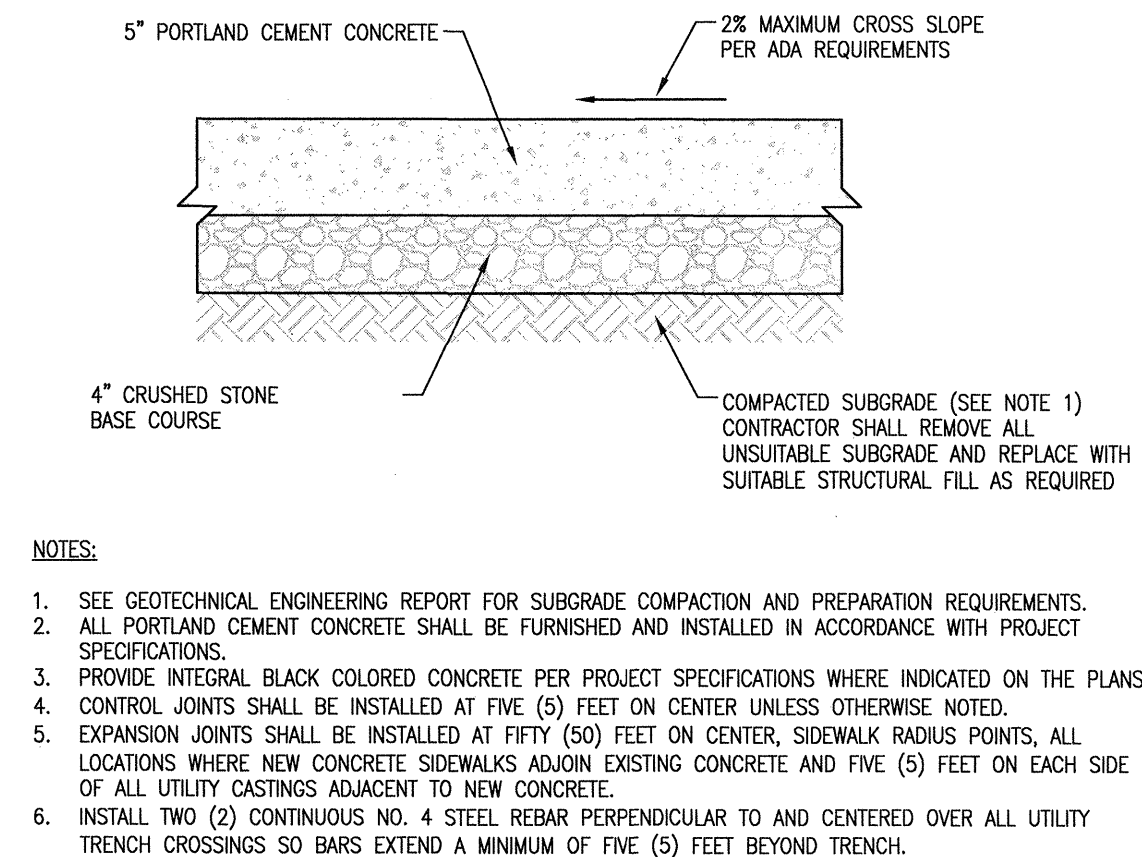
- NOTES:**
- SEE GEOTECHNICAL ENGINEERING REPORT FOR SUBGRADE COMPACTION AND PREPARATION REQUIREMENTS.

HEAVY DUTY ASPHALT PAVEMENT DETAIL
NOT TO SCALE



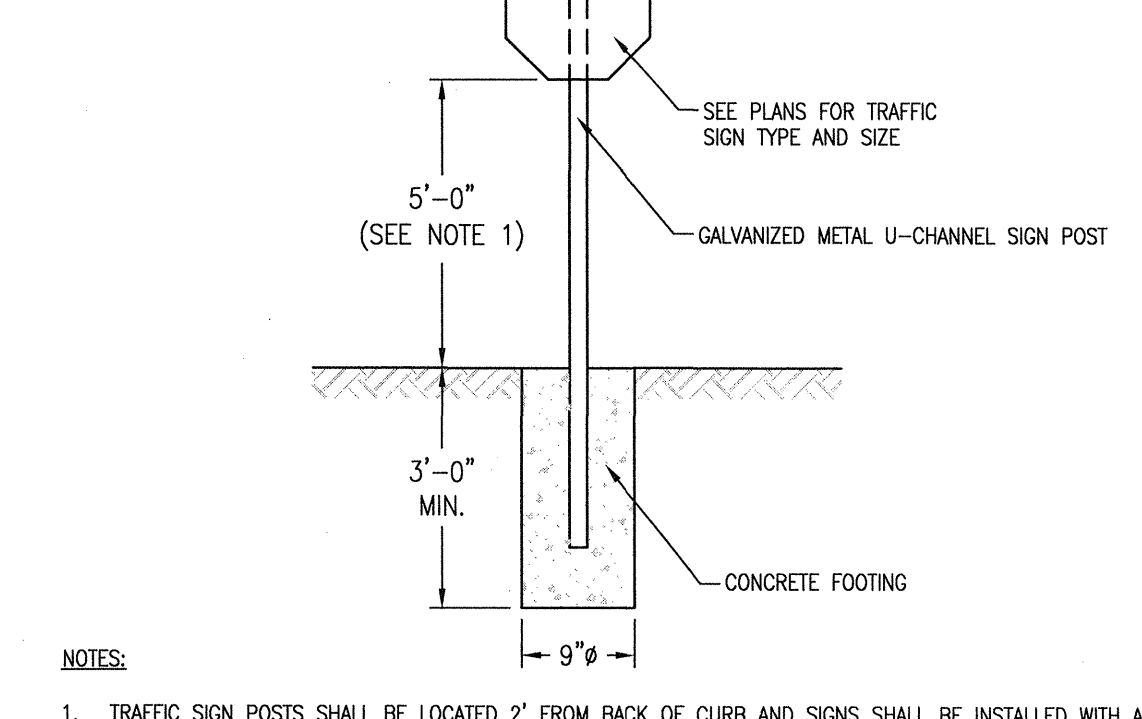
- NOTES:**
- SEE GEOTECHNICAL ENGINEERING REPORT FOR SUBGRADE COMPACTION AND PREPARATION REQUIREMENTS.

ASPHALT PAVEMENT DETAIL
NOT TO SCALE



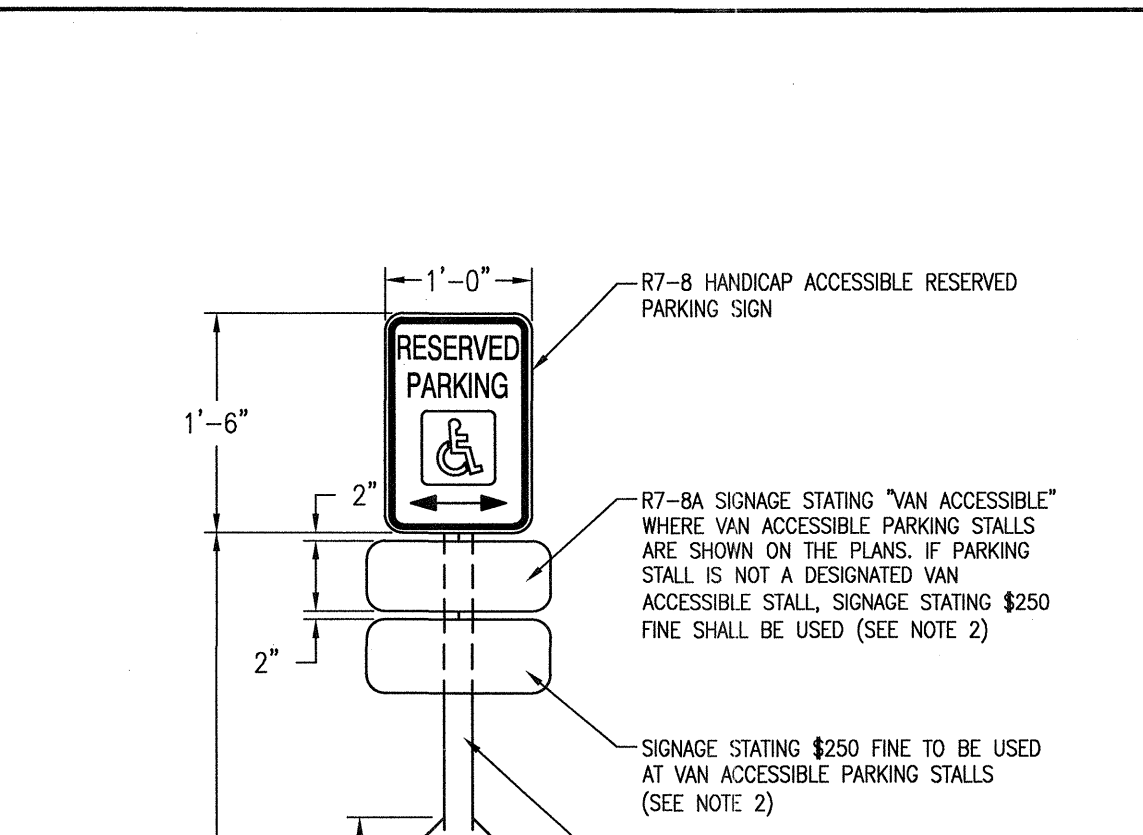
- NOTES:**
- SEE GEOTECHNICAL ENGINEERING REPORT FOR SUBGRADE COMPACTION AND PREPARATION REQUIREMENTS.
 - ALL PORTLAND CEMENT CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
 - PROVIDE INTEGRAL BLACK COLORED CONCRETE PER PROJECT SPECIFICATIONS WHERE INDICATED ON THE PLANS.
 - CONTROL JOINTS SHALL BE INSTALLED AT FIVE (5) FEET ON CENTER UNLESS OTHERWISE NOTED.
 - EXPANSION JOINTS SHALL BE INSTALLED AT FIFTY (50) FEET ON CENTER, SIDEWALK RADIUS POINTS, ALL LOCATIONS WHERE NEW CONCRETE SIDEWALKS ADJOIN EXISTING CONCRETE AND FIVE (5) FEET ON EACH SIDE OF ALL UTILITY CASTINGS ADJACENT TO NEW CONCRETE.
 - INSTALL TWO (2) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND TRENCH.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE



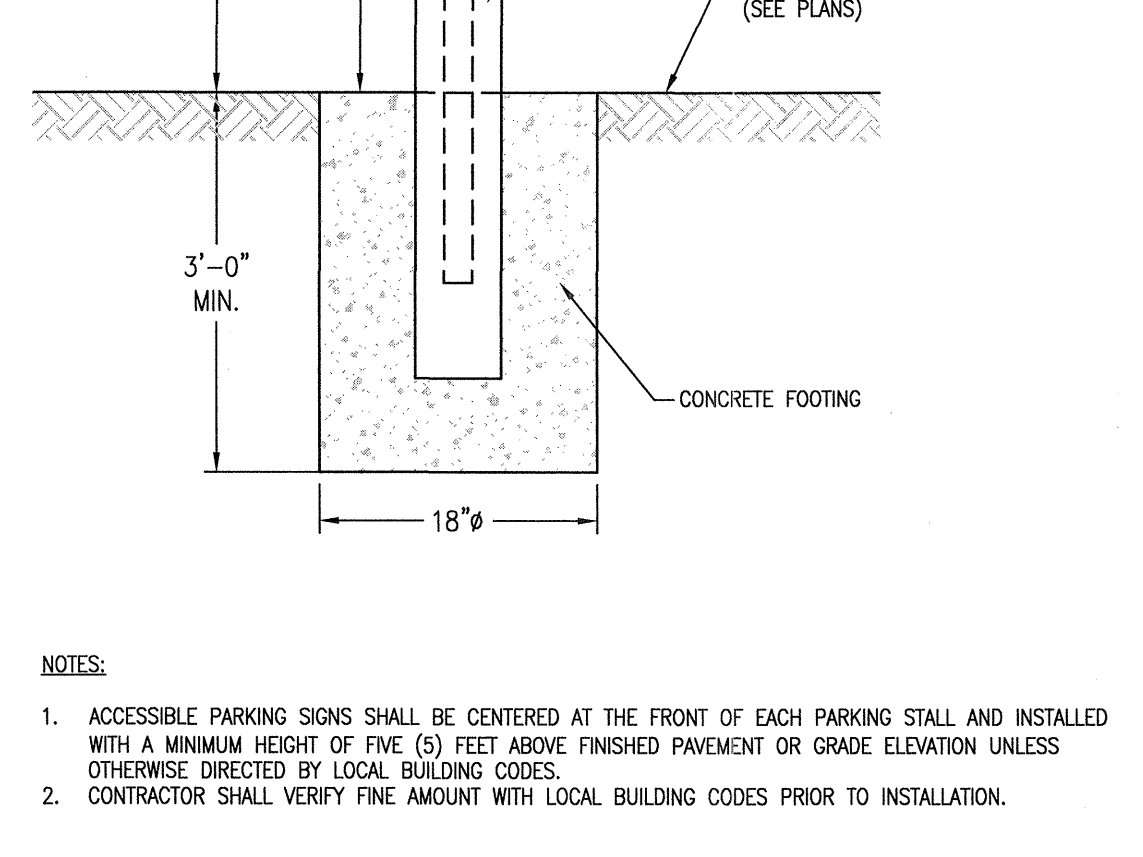
- NOTES:**
- TRAFFIC SIGN POSTS SHALL BE LOCATED 2' FROM BACK OF CURB AND SIGNS SHALL BE INSTALLED WITH A MINIMUM HEIGHT OF FIVE (5) FEET ABOVE FINISHED PAVEMENT OR GRADE ELEVATION UNLESS OTHERWISE DIRECTED BY LOCAL BUILDING CODES.
 - TRAFFIC SIGNS SHALL BE IN FURNISHED IN ACCORDANCE WITH THE LATEST U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."

TRAFFIC SIGN DETAIL - GRASS AREA
NOT TO SCALE



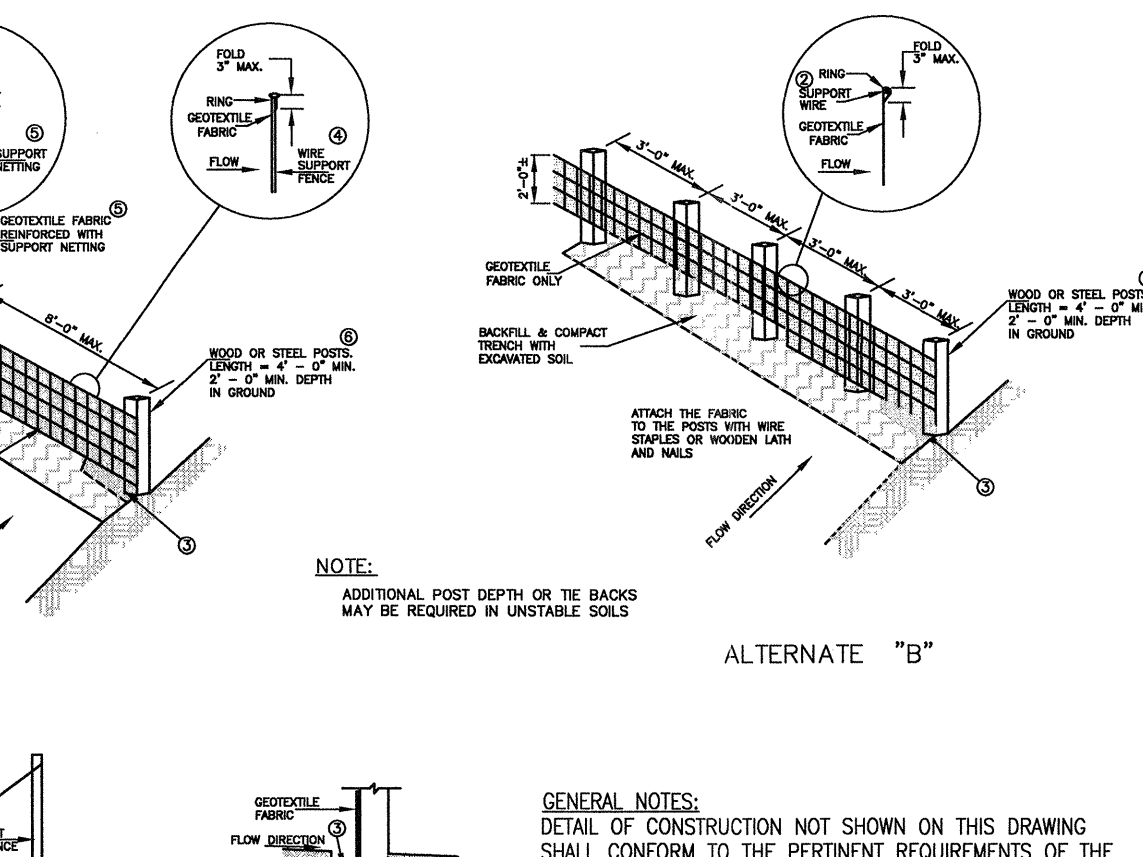
- NOTES:**
- ACCESSIBLE PARKING SIGNS SHALL BE CENTERED AT THE FRONT OF EACH PARKING STALL AND INSTALLED WITH A MINIMUM HEIGHT OF FIVE (5) FEET ABOVE FINISHED PAVEMENT OR GRADE ELEVATION UNLESS OTHERWISE DIRECTED BY LOCAL BUILDING CODES.
 - CONTRACTOR SHALL VERIFY FINE AMOUNT WITH LOCAL BUILDING CODES PRIOR TO INSTALLATION.

ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



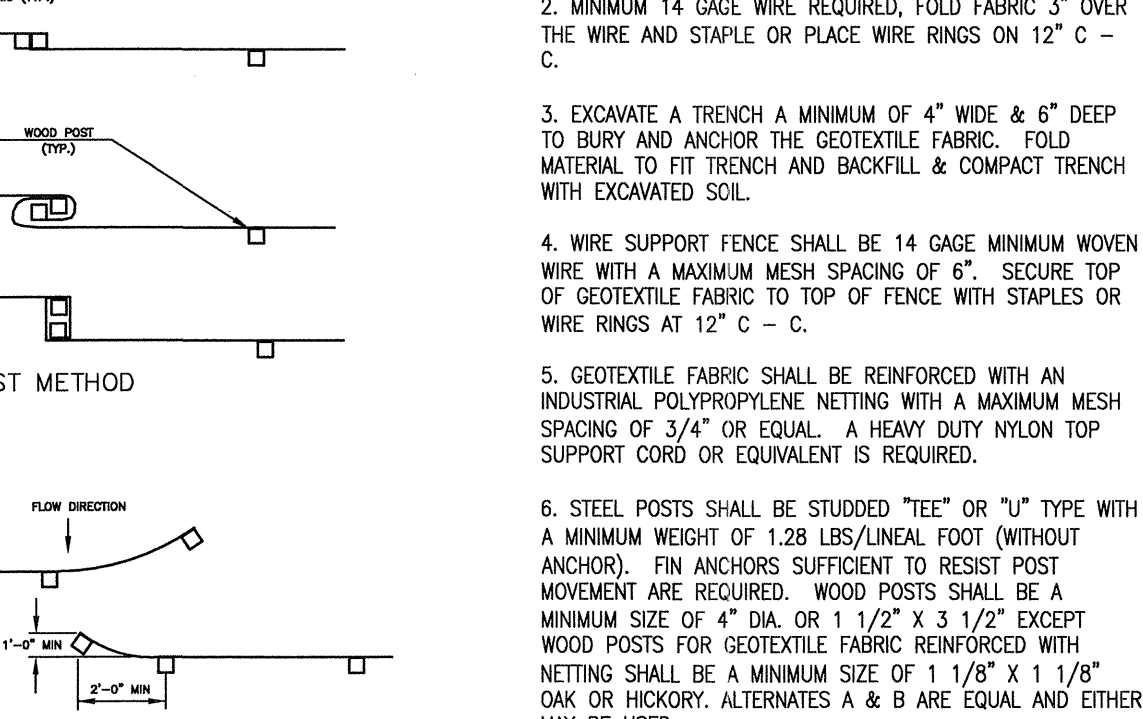
- NOTES:**
- CONTRACTOR MAY PROVIDE PREFABRICATED CONCRETE WASHOUT BIN WITH MINIMUM 30-MIL POLYETHYLENE LINER IN LIEU OF DETAIL SHOWN.
 - STOP WASHING OUT CONCRETE IF WATER IS OBSERVED RUNNING OFF THE DESIGNATED AREA OR IF THE CONTAINMENT SYSTEM IS LEAKING OR OVERFLOWING AND INEFFECTIVE.
 - INSPECT DAILY AND AFTER EACH STORM EVENT. INSPECT THE INTEGRITY OF THE OVERALL STRUCTURE INCLUDING, WHERE APPLICABLE, THE CONTAINMENT SYSTEM.
 - THE CONCRETE WASHOUT SYSTEM SHOULD BE REPAIRED OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR ALL CONCRETE WASTE.

CONCRETE WASHOUT DETAIL
NOT TO SCALE



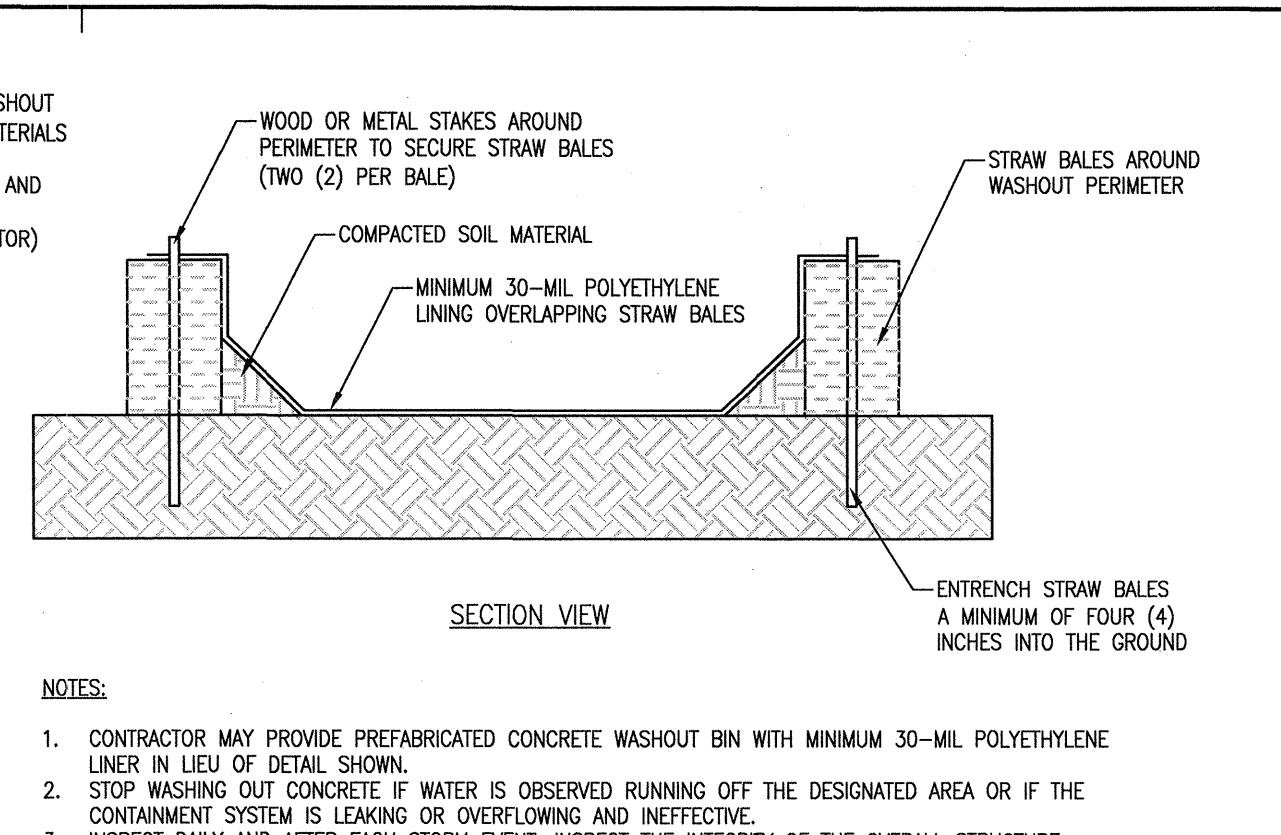
- GENERAL NOTES:**
- CROSS BRACE WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER OR OWNER.
 - MINIMUM 14 GAGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C - C.
 - EXCAVATE A TRENCH A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WIRE SUPPORT FENCE SHALL BE 14 GAGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C - C.
 - GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
 - STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.28 LBS./LINEAL FOOT (WITHOUT ANCHOR). FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 4" DIA. OR 1 1/2" X 3 1/2" EXCEPT WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OAK OR HICKORY. ALTERNATES A & B ARE EQUAL AND EITHER MAY BE USED.

SILT FENCE DETAIL
NOT TO SCALE



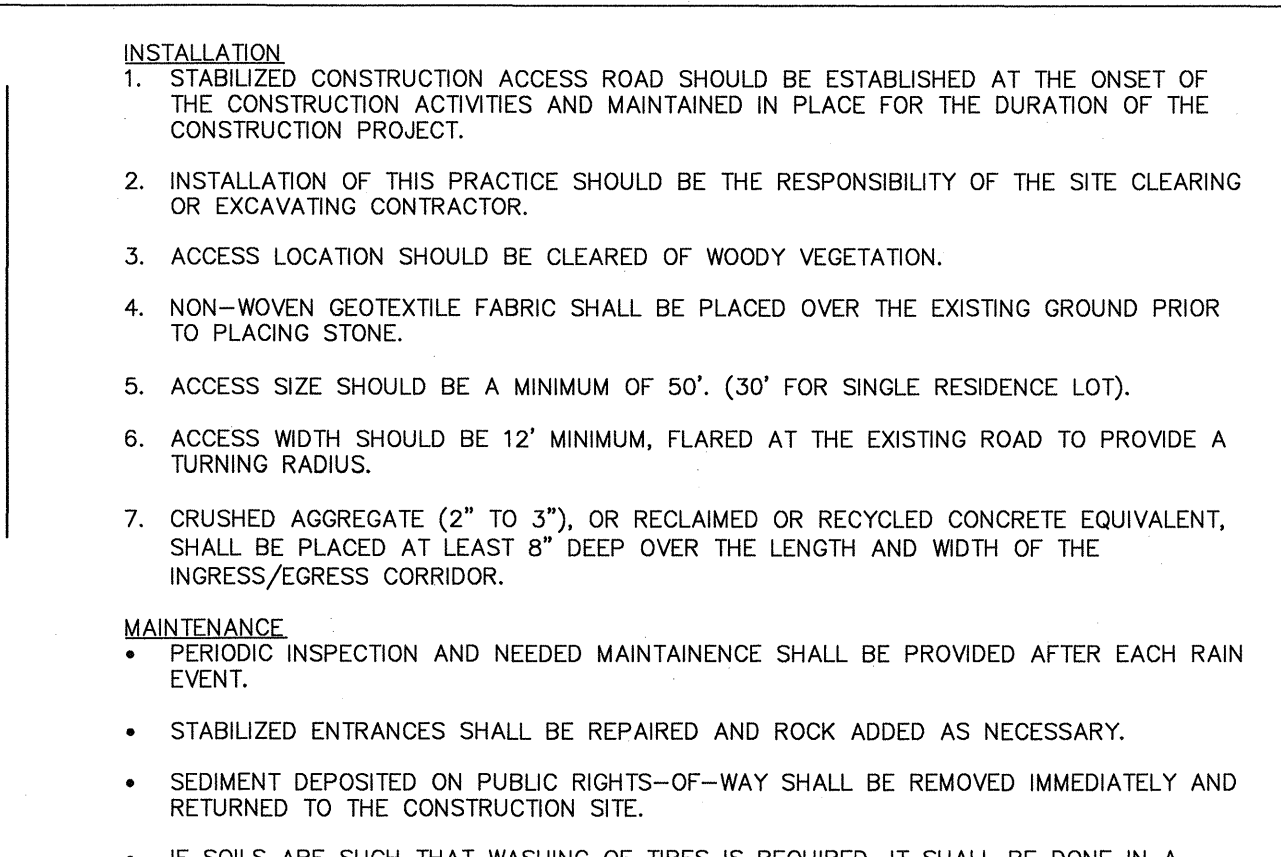
- GENERAL NOTES:**
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 - FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INLET PROTECTION DETAIL
NOT TO SCALE



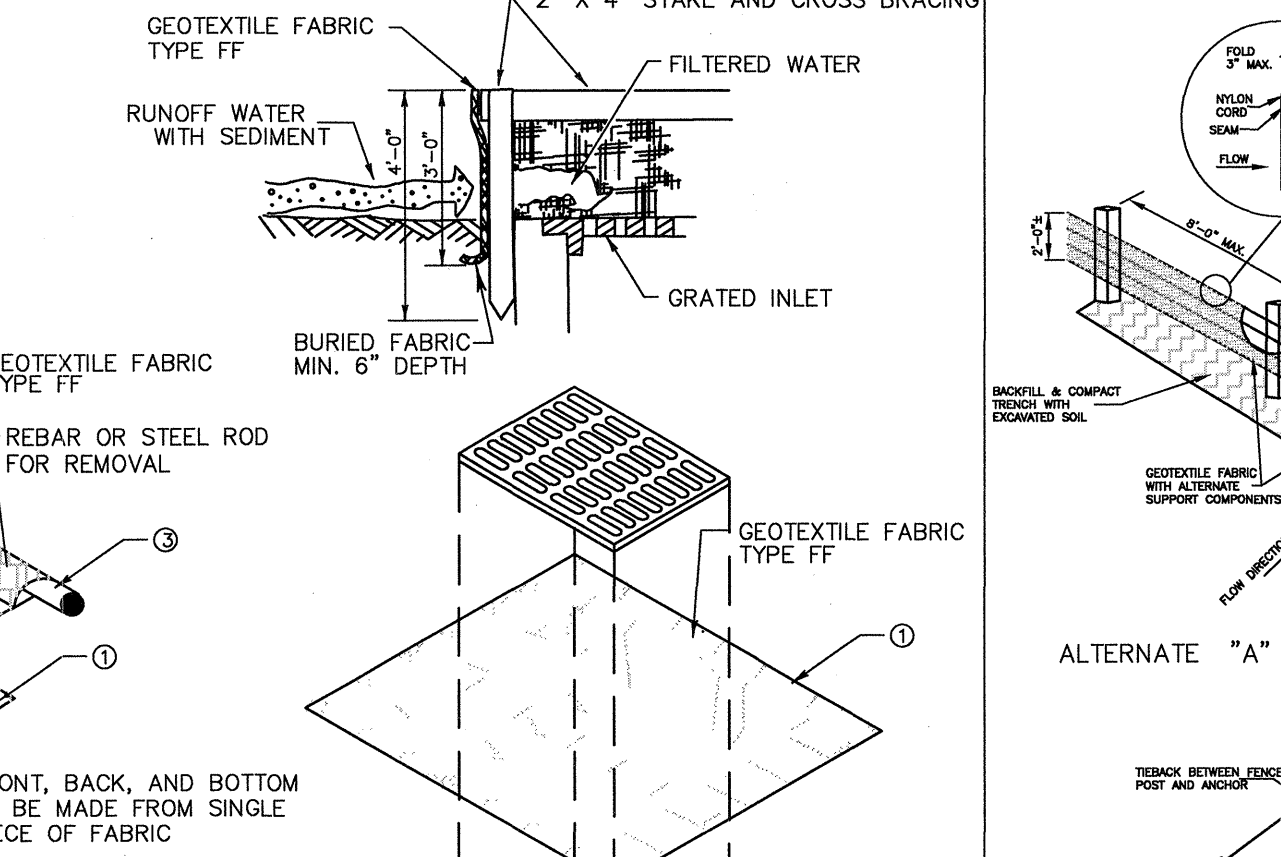
- NOTES:**
- CONTRACTOR MAY PROVIDE PREFABRICATED CONCRETE WASHOUT BIN WITH MINIMUM 30-MIL POLYETHYLENE LINER IN LIEU OF DETAIL SHOWN.
 - STOP WASHING OUT CONCRETE IF WATER IS OBSERVED RUNNING OFF THE DESIGNATED AREA OR IF THE CONTAINMENT SYSTEM IS LEAKING OR OVERFLOWING AND INEFFECTIVE.
 - INSPECT DAILY AND AFTER EACH STORM EVENT. INSPECT THE INTEGRITY OF THE OVERALL STRUCTURE INCLUDING, WHERE APPLICABLE, THE CONTAINMENT SYSTEM.
 - THE CONCRETE WASHOUT SYSTEM SHOULD BE REPAIRED OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR ALL CONCRETE WASTE.

CONCRETE WASHOUT DETAIL
NOT TO SCALE



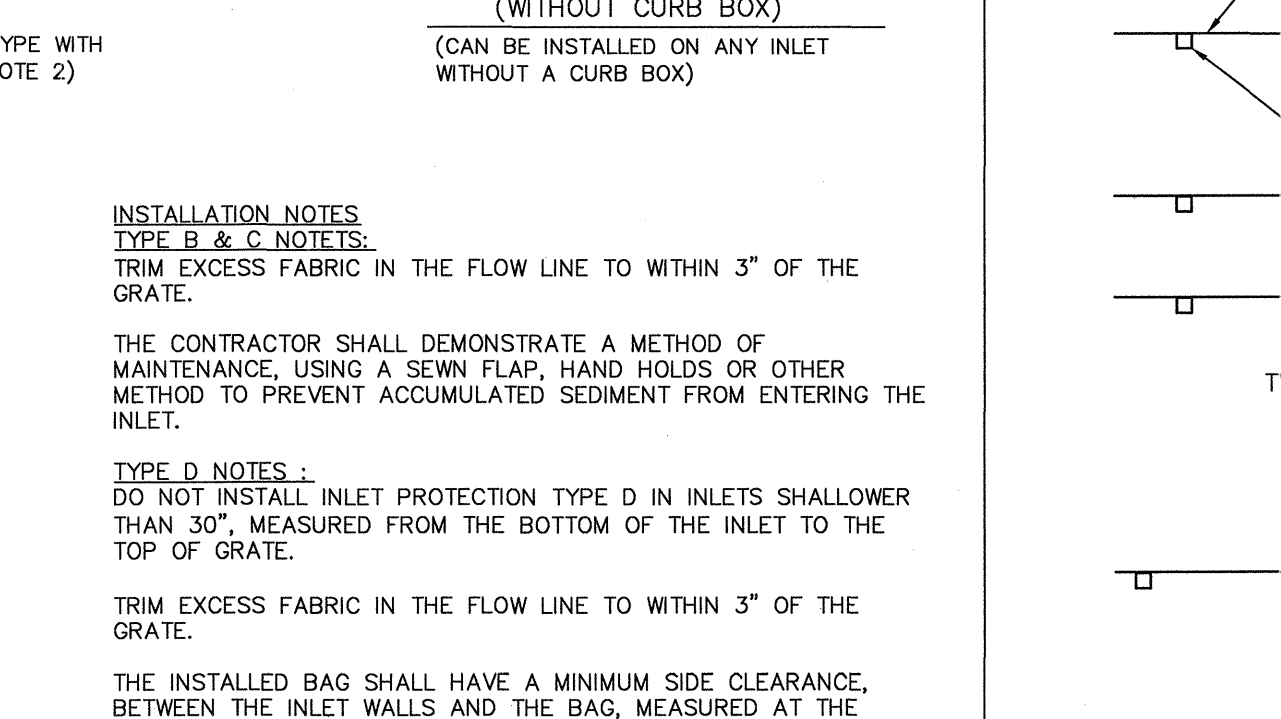
- INSTALLATION:**
- STABILIZED CONSTRUCTION ACCESS ROAD SHOULD BE ESTABLISHED AT THE ONSET OF THE CONSTRUCTION ACTIVITIES AND MAINTAINED IN PLACE FOR THE DURATION OF THE CONSTRUCTION PROJECT.
 - INSTALLATION OF THIS PRACTICE SHOULD BE THE RESPONSIBILITY OF THE SITE CLEARING OR EXCAVATING CONTRACTOR.
 - ACCESS LOCATION SHOULD BE CLEARED OF WOODY VEGETATION.
 - NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE.
 - ACCESS SIZE SHOULD BE A MINIMUM OF 50'. (30' FOR SINGLE RESIDENCE LOT).
 - ACCESS WIDTH SHOULD BE 12' MINIMUM, FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - CRUSHED AGGREGATE (2" TO 3"), OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT, SHALL BE PLACED AT LEAST 8" DEEP OVER THE LENGTH AND WIDTH OF THE INGRESS/EGRESS CORRIDOR.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



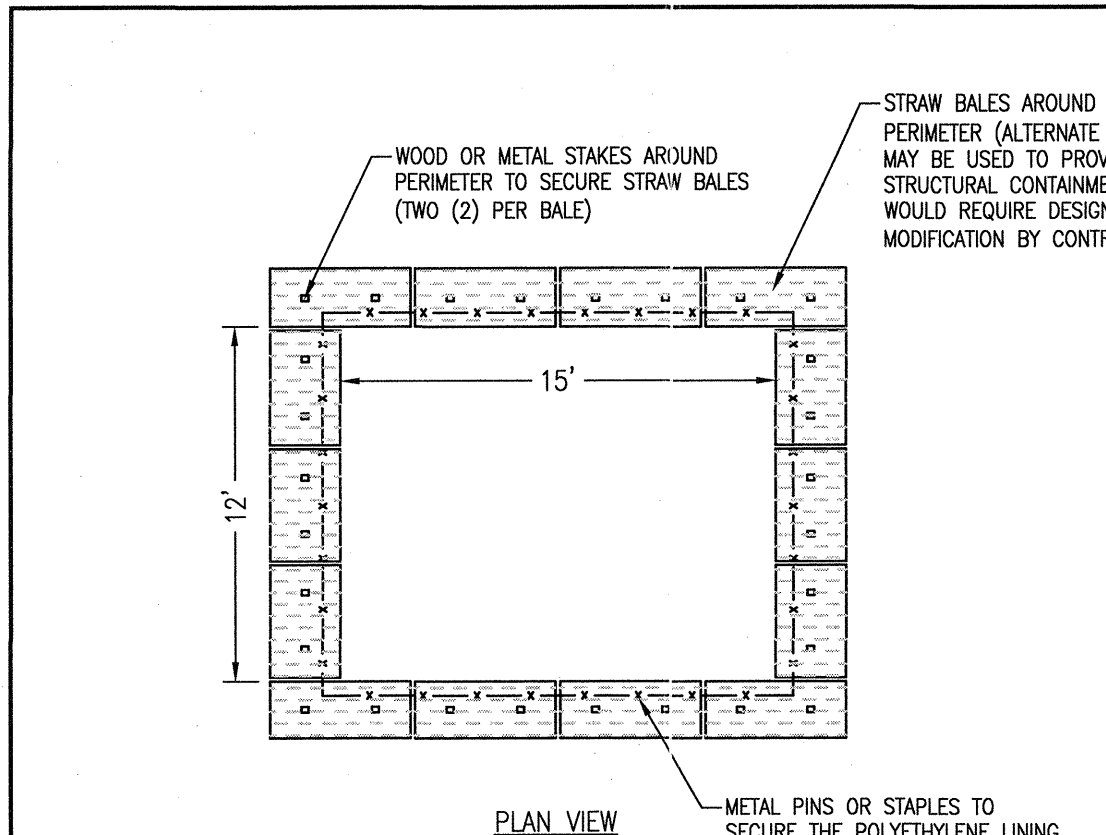
- INSTALLATION NOTES:**
- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF GRADE.
 - THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 - TYPE D NOTES: DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF GRADE.
 - TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRADE.
 - THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

SILT FENCE DETAIL
NOT TO SCALE



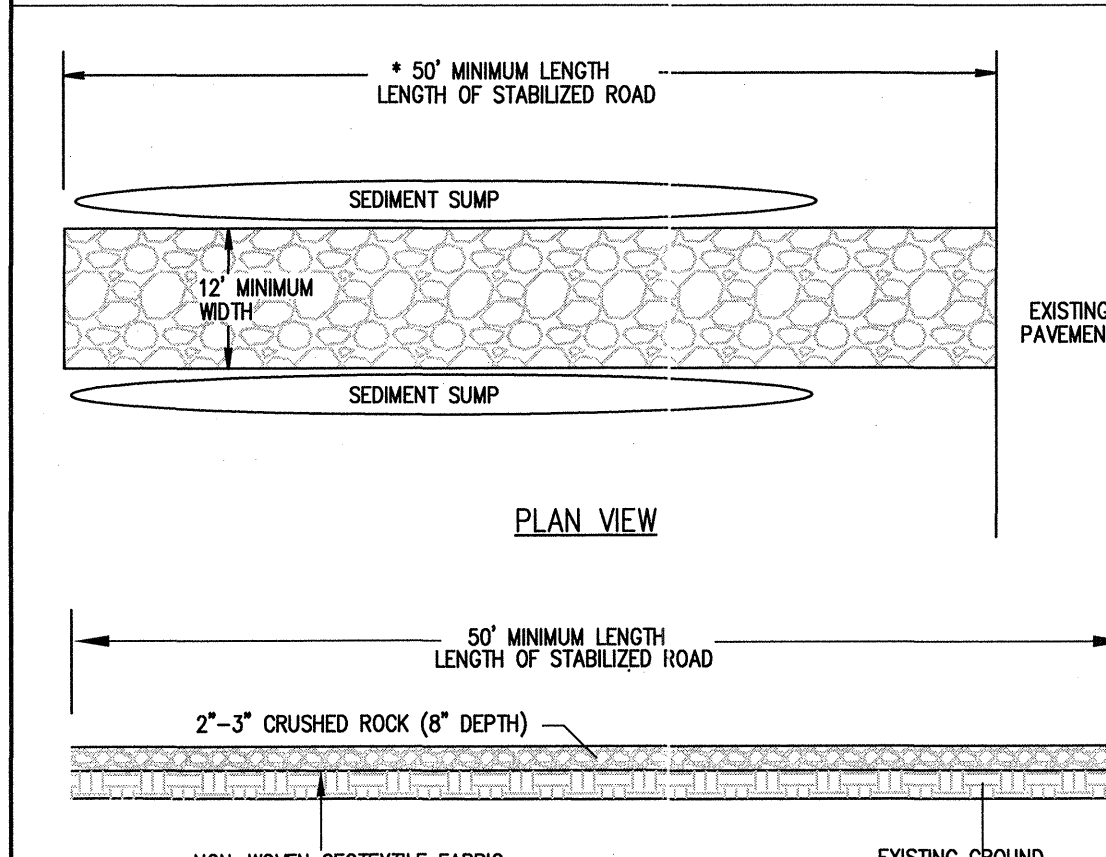
- GENERAL NOTES:**
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 - FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INLET PROTECTION DETAIL
NOT TO SCALE



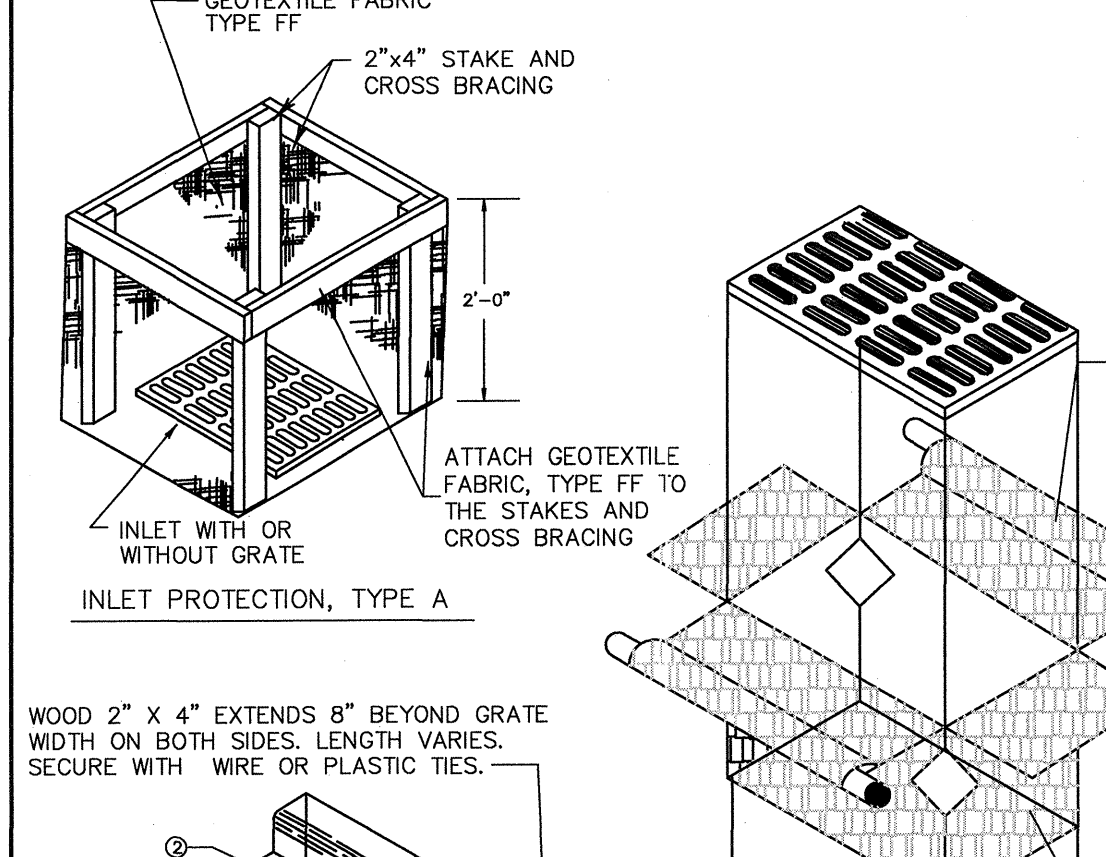
- NOTES:**
- CONTRACTOR MAY PROVIDE PREFABRICATED CONCRETE WASHOUT BIN WITH MINIMUM 30-MIL POLYETHYLENE LINER IN LIEU OF DETAIL SHOWN.
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CONCRETE WASHOUT DETAIL
NOT TO SCALE



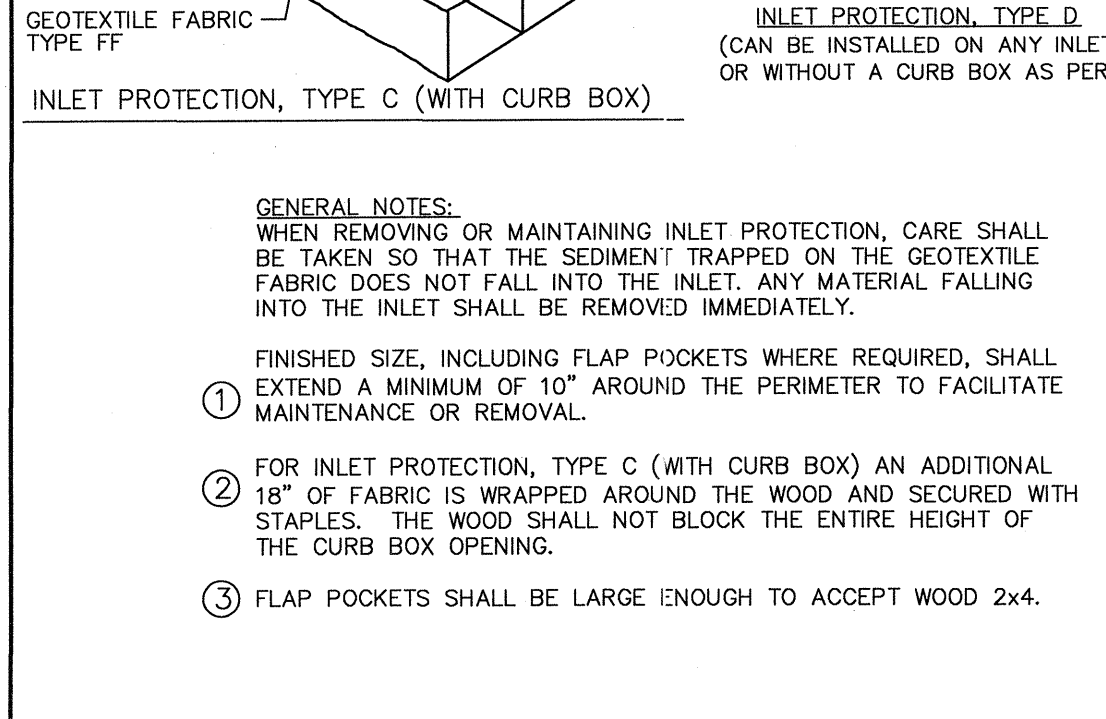
- INSTALLATION:**
- STABILIZED CONSTRUCTION ACCESS ROAD SHOULD BE ESTABLISHED AT THE ONSET OF THE CONSTRUCTION ACTIVITIES AND MAINTAINED IN PLACE FOR THE DURATION OF THE CONSTRUCTION PROJECT.
 - INSTALLATION OF THIS PRACTICE SHOULD BE THE RESPONSIBILITY OF THE SITE CLEARING OR EXCAVATING CONTRACTOR.
 - ACCESS LOCATION SHOULD BE CLEARED OF WOODY VEGETATION.
 - NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE.
 - ACCESS SIZE SHOULD BE A MINIMUM OF 50'. (30' FOR SINGLE RESIDENCE LOT).
 - ACCESS WIDTH SHOULD BE 12' MINIMUM, FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - CRUSHED AGGREGATE (2" TO 3"), OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT, SHALL BE PLACED AT LEAST 8" DEEP OVER THE LENGTH AND WIDTH OF THE INGRESS/EGRESS CORRIDOR.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



- GENERAL NOTES:**
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 - FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
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 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INLET PROTECTION DETAIL
NOT TO SCALE



- GENERAL NOTES:**
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INLET PROTECTION DETAIL
NOT TO SCALE

PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/21/16	CITY SUBMITTAL
04/29/16	CITY SUBMITTAL
05/04/16	CITY SUBMITTAL
05/26/16	CITY SUBMITTAL
06/07/16	CONSTRUCTION PLANS

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
PAUL PHILLIPS
PROFESSIONAL ENGINEER
LICENSE NO.

PROJECT MANAGER

QUALITY CONTROL

DRAWN BY
SARAH DREIER

PROJECT NAME

**GREEN BAY
REAL ESTATE
INVESTMENTS**

**GREEN BAY,
WISCONSIN**

**1923 AND 1937
MAIN STREET**

PROJECT NUMBER
20150955.0

SHEET TITLE
**LANDSCAPE
PLAN**

SHEET NUMBER

L1.0

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	SEED LAWNS WITH A KENTUCKY BLUEGRASS BLEND, PER GRASS SEED CHART ON SHEET C600.
2	CULTIVATED BEDLINE 4" DEPTH. (TYP.)
3	INSTALL 3" DEPTH OF SHREDDED BARK MULCH. (TYP.)
4	EXISTING FENCE TO REMAIN
5	TO BE REPLACED WITH SHREDDED HARDWOOD BARK MULCH. SEE NOTE #9.

PLANT SCHEDULE

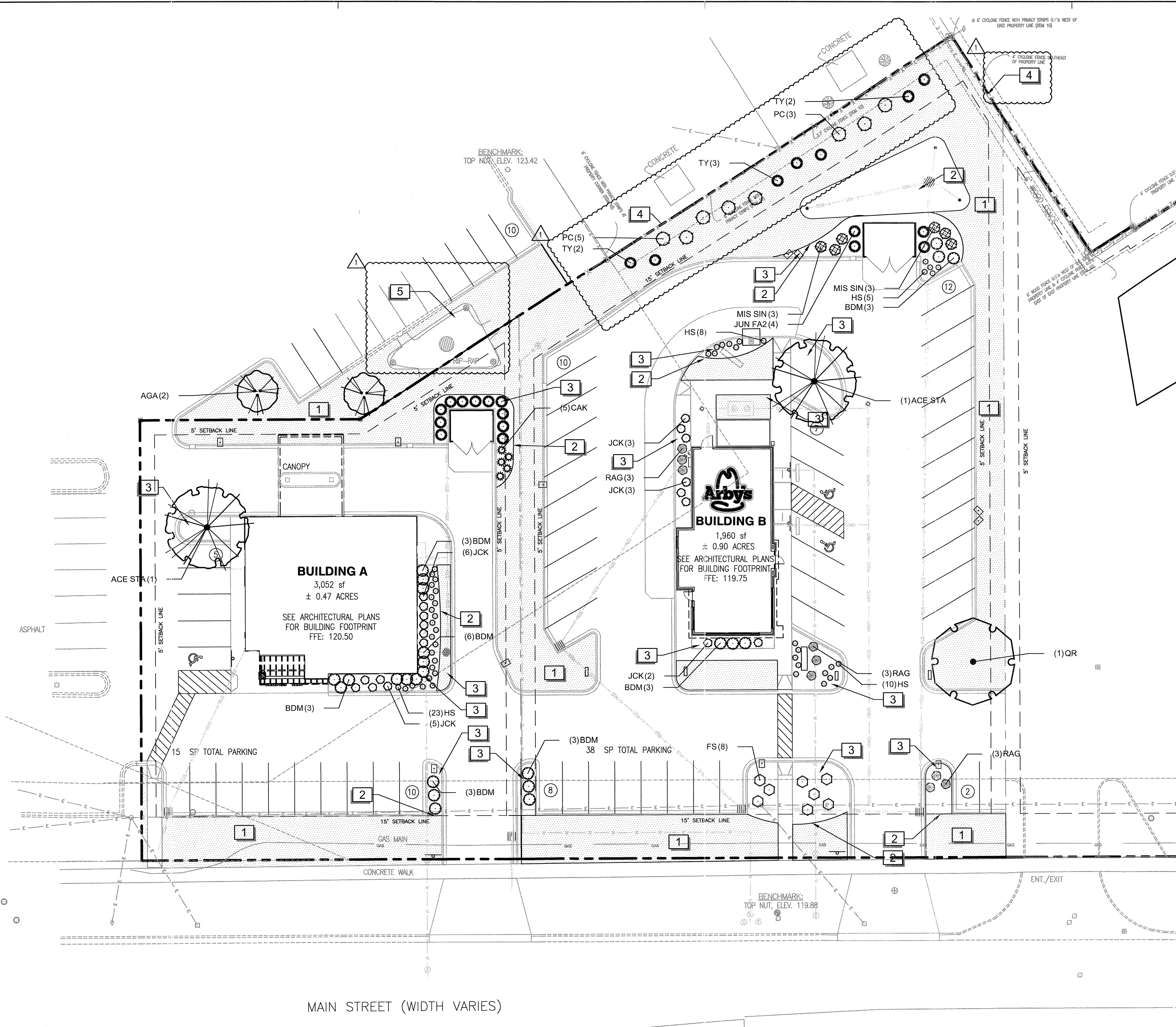
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	ACE STA	2	Acer miyabei 'State Street' STRONG LEADER	Miyabei Maple	B & B	2.5"	Cal. DBH
	AGA	2	Amelanchier x grandiflora 'Autumn Brilliance'		B & B		6'-8" HT. MIN.
	QR	1	Quercus rubra	Red Oak	B & B	2.5"	Cal. DBH
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD
	BDM	24	Buddleja davidii 'Miss Ruby'	Miss Ruby Butterfly Bush	5 gal	24"	Ht. Min.
	FS	8	Forsythia x intermedia 'Show Off'	Golden-Bells	B & B	24"-30"	Ht. Min.
	JUN FAZ	15	Juniperus chinensis 'Fairview'	Juniper	B & B	6'	Ht. Min.
	JCK	19	Juniperus chinensis 'Kallays Compact'	Kallays Compact Juniper	5 gal		24" Spr. Min.
	PC	8	Picea pungens 'Corbet'	Colorado Spruce	B & B	4'-6"	HL.
	RAG	9	Rhus aromatica 'Gro-Low'	Gro Low Sumac	3 gal		24" Spr. Min.
	TY	7	Thuja occidentalis 'Yellow Ribbon'	Yellow Ribbon Cedar	B & B	5'	Ht. Min.
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD
	HS	46	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal		
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD
	CAK	5	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Featherreed Grass	2 gal		
	MIS SIN	6	Miscanthus sinensis 'Adagio'	Adagio Eulalia Grass	2 gal		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD
	SEED	16,084 sf	LAWN GRASSES	Kentucky Bluegrass Blend	seed		

GENERAL NOTES:

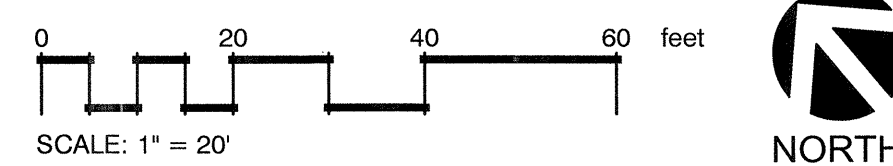
- GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.
- CONTRACTOR TO REPAIR AND REPLACE ANY PLANT MATERIAL DAMAGED BY THIS CONSTRUCTION OUTSIDE PROJECT LIMITS. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO OWNER OR TENANT.
- TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER / OWNER'S REPRESENTATIVE A PLANT PHOTO SUBMITTAL FOR APPROVAL. IF REQUESTED, BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE MATERIAL.
- EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND BRANCHING STRUCTURE AND QUALITY OF THE PLANT.
- EACH PHOTO SHALL HAVE THE PLANT NAME, SIZE AND SPECIFICATIONS LABELED ON THE PHOTO.
- ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.
- NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.
- MATURE HEIGHT FOR COLORADO SPRUCE TREE IS 30'-60" AND MATURE WIDTH OF 10'-20". MATURE HEIGHT FOR YELLOW RIBBON CEDAR IS 5'-10' AND MATURE WIDTH OF 2'-3'.
- CONTRACTOR SHALL REMOVE STONE MULCH AND REPLACE WITH SHREDDED HARDWOOD BARK MULCH.

MAINTENANCE OF LANDSCAPING:

THE OWNER, TENANT, OR AGENT, IF ANY, SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS, REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM REFUSE AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.



LANDSCAPE PLAN



DIGGERS HOTLINE
Call 811 or (800) 242-5811
Milwaukee Area (262) 432-7910
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/21/16	CITY SUBMITTAL
04/29/16	CITY RESUBMITTAL
05/04/16	CITY RESUBMITTAL
05/26/16	CITY RESUBMITTAL
06/01/16	CONSTRUCTION PLANS

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
PAUL PHILLIPS
PROFESSIONAL ENGINEER
LICENSE NO.

PROJECT MANAGER

QUALITY CONTROL

DRAWN BY
SARAH DREIER

PROJECT NAME

**GREEN BAY
REAL ESTATE
INVESTMENTS**

**GREEN BAY,
WISCONSIN**

**1923 AND 1937
MAIN STREET**

PROJECT NUMBER
20150955.0

SHEET TITLE
**LANDSCAPE
NOTES &
DETAILS**

SHEET NUMBER

L2.0

NOTES:

LANDSCAPE PLANTING

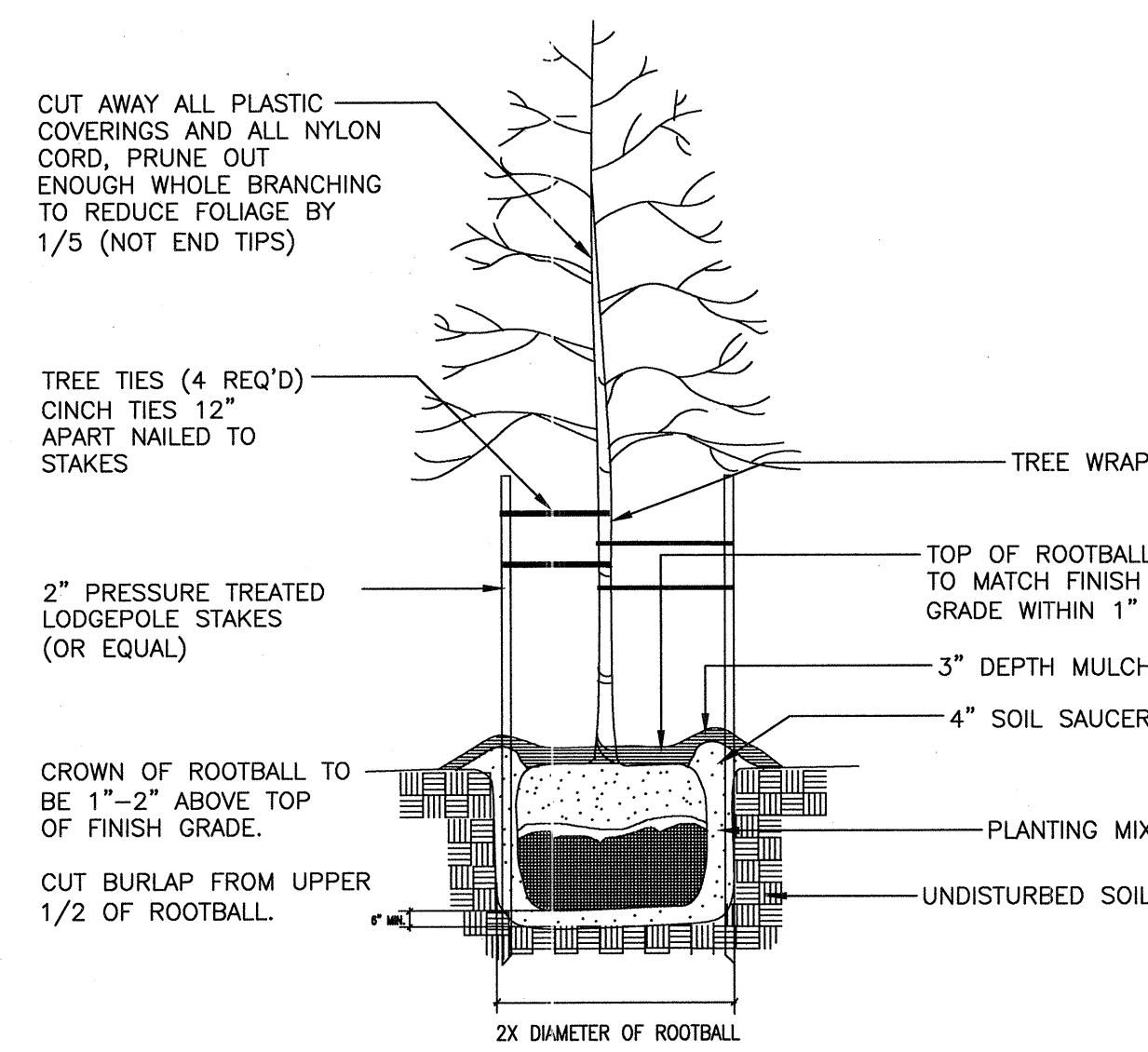
- THE LANDSCAPE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND VERIFY THEM TO HIS SATISFACTION. THE LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE CONDITIONS AND DO THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN.
- PRIOR TO CONSTRUCTION THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. SHOULD THE LANDSCAPE CONTRACTOR CAUSE DAMAGE TO ANY UTILITIES HE SHALL MAKE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE WITHOUT ADDITIONAL COMPENSATION.
- ALL PLANT MATERIAL SIZES AND MEASUREMENTS, INCLUDING TRUNK, HEAD, AND SPREAD SIZES, CONTAINER AND ROOTBALL SIZES, QUALITY AND CONDITION SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1).
- ALL PLANT MATERIAL ARE SUBJECT TO THE APPROVAL BY THE OWNER, AND MAY BE INSPECTED AT THE PLACE OF GROWTH OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY PLANT MATERIAL WHICH IS NOT TO HIS SATISFACTION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING WORK (INCLUDING WATERING, SPRAYING FOR INSECTS AND DISEASE, MULCHING, MOWING, FERTILIZING, CULTIVATING, EDGING AND WEEDING) FOR A PERIOD OF 90 DAYS AFTER ACCEPTANCE BY THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL LANDSCAPE PLANTING WORK AND MATERIALS FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE THE WORK HAS BEEN APPROVED BY THE OWNER AS INSTALLED. ALL PLANT MATERIAL NOT HEALTHY GROWING CONDITION SHALL BE REMOVED IMMEDIATELY AND REPLACED AS SOON AS POSSIBLE WITH LIKE KIND AND SIZE AT NO CHARGE TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SOIL SAMPLES FROM SOIL AND NATIVE OR FILL SOILS AT THE SITE AND SUBMITTING THEM TO AN APPROVED SOIL TESTING LABORATORY, AND OBTAIN ANALYSES AND RECOMMENDATIONS FOR AMENDING THESE SOILS AND FERTILIZATION OF SPECIFIED PLANT MATERIAL. AT A MINIMUM ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12 LBS. /1000 SF OF 10-10-10 FERTILIZER.
- ALL PLANTING AREAS, SHRUB BEDS AND TREES SHALL BE MULCHED WITH A MINIMUM COMPACTED DEPTH OF THREE (3) INCHES OF MULCH AS SPECIFIED. PRIOR TO MULCHING APPLY A PRE-EMERGENT HERBICIDE (APPROVED BY OWNER) AS RECOMMENDED BY THE MANUFACTURER, TO PREVENT RECURRING WEED AND GRASS GROWTH.
- CONTRACTOR IS TO TAKE SPECIAL CARE WHEN INSTALLING NEW PLANT MATERIAL SO AS NOT TO DISTURB ANY EXISTING PLANTINGS DESIGNATED TO REMAIN. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE AND NO ADDITIONAL COST TO OWNER.

TURF AND LAWNS

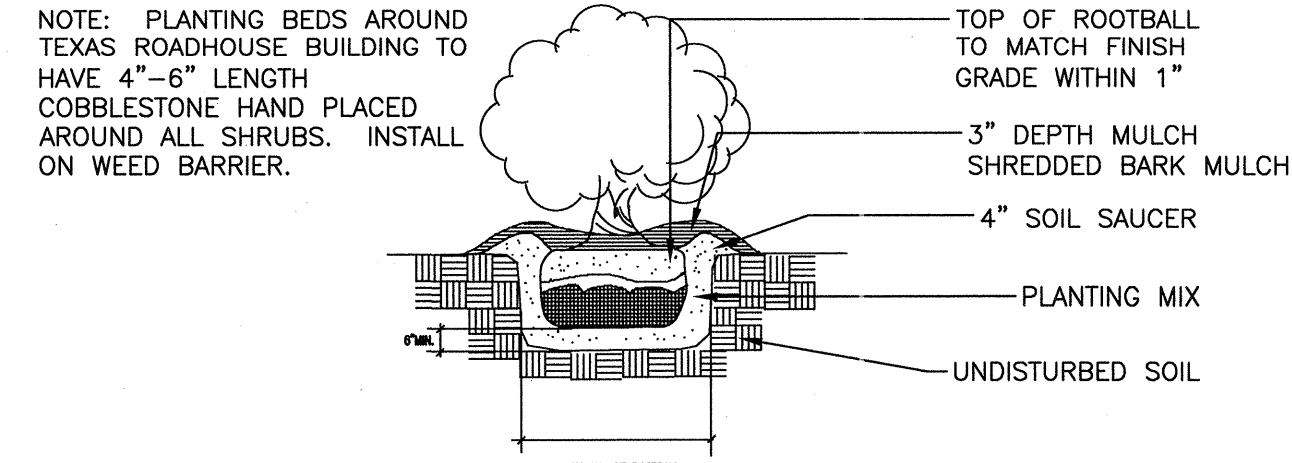
- TALL DISTURBED AREAS SHALL RECEIVE 4" MINIMUM OF TOPSOIL (COMPACTED) AND GRASSED WITH SOD OR SEED AS INDICATED ON PLAN. LANDSCAPE CONTRACTOR TO COORDINATE HIS/HER WORK WITH OTHER TRADES REGARDING FINISH GRADING. IF AVAILABLE CONTRACTOR IS TO USE STOCKPILED TOPSOIL ON SITE. IF NOT AVAILABLE THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR IMPORTING THE TOPSOIL NECESSARY TO MEET FINISH GRADE.
- TOPSOIL SHALL BE FERTILE, FRIABLE AND REPRESENTATIVE OF LOCAL PRODUCTIVE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND FREE OF CLAY LUMPS, SUBSOIL, NOXIOUS WEEDS OR OTHER FOREIGN MATTER SUCH AS STONES, ROOTS, STICKS AND OTHER EXTRANEEOUS MATERIALS: NOT FROZEN OR MUDDY. PH OF TOPSOIL TO RANGE BETWEEN 5.5 AND 7.5.
- SODDED AREAS SHALL BE GRASSED KENTUCKY BLUEGRASS SOD. SOD SHALL BE LAID WITH CLOSE, TIGHT FITTING JOINTS, WHICH SHALL BE LAID IN ROWS PARALLEL TO THE CONTOUR LINES. ALL SODDED AREAS SHALL BE ROLLED TO ACHIEVE A SMOOTH, UNIFORM LAWN.
- SEEDDED AREAS SHALL BE GRASSED WITH KENTUCKY 31 TALL FESCUE AND BLUEGRASS AT A RATE OF (5) POUNDS PER 1000 SQ. FT. OF GRASSED AREA. SEED MAY BE APPLIED EITHER BY A MECHANICAL SPREADER OR HYDROSEEDING. WHICHEVER METHOD IS CHOSEN A THICK STAND OF GRASS SHALL BE ACHIEVED WITHIN 21 DAYS OR A SECOND OVERSEEDING WILL BE REQUIRED.
- FERTILIZATION AND SOIL AMENDMENTS FOR ALL GRASSED AREAS SHALL BE AS PER LABORATORY ANALYSIS. HYDROSEEDING MAY BE SUBSTITUTED FOR MECHANICAL SEEDING BY MIXING SEED, FERTILIZER AND PULVERIZED MULCH IN WATER, USING EQUIPMENT SPECIFICALLY DESIGNED FOR HYDROSEED APPLICATION. MIX UNTIL UNIFORMLY BLENDED INTO HOMOGENEOUS SLURRY SUITABLE FOR HYDRAULIC APPLICATION. APPLY UNIFORMLY AT A RATE AS REQUIRED TO OBTAIN SPECIFIED SEEDING RATE.
- ANY EXISTING LAWN AREA DISTURBED BY CONSTRUCTION IS TO BE REPAIRED TO ITS ORIGINAL CONDITION BY SEEDING.

TREES AND SHRUBS

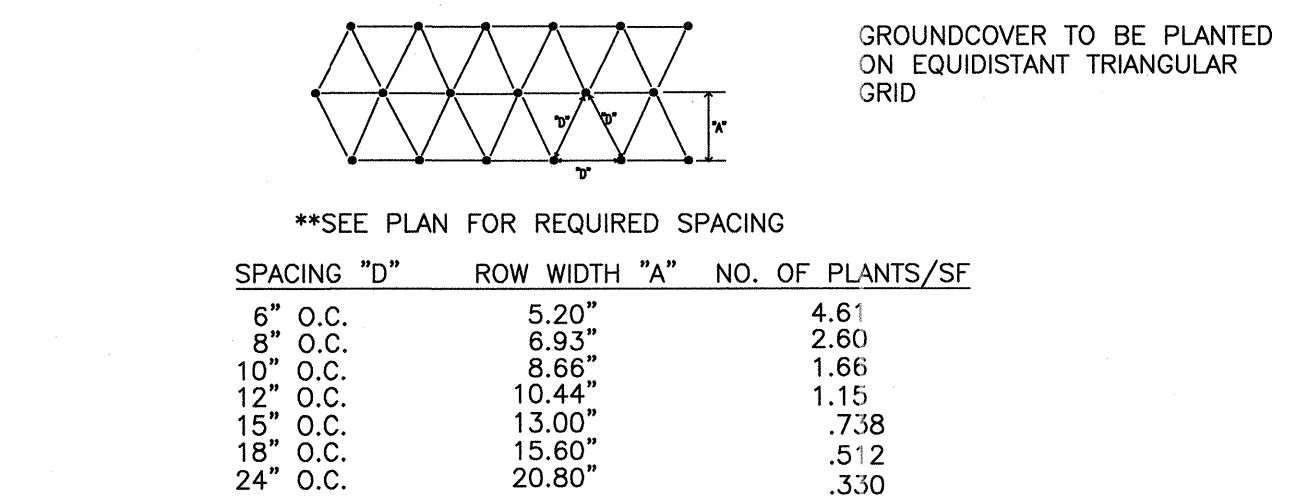
- ALL TREES LOCATED IN GRASSED AREAS SHALL BE PLANTED AS PER DETAIL AND MULCHED WITH AT LEAST FOUR (4) FOOT DIAMETER OF SHREDDED BARK MULCH, TO A MINIMUM 3" DEPTH.
- SHRUB BEDS SHALL BE MOUNDDED WITH TOPSOIL A MINIMUM OF 6" ABOVE TOP OF CURB AND SHALL BE MULCHED WITH A 3" DEPTH OF SHREDDED BARK MULCH.
- TREES SHALL BE PLANTED NO CLOSER THAN FIVE (5) FEET FROM BACK OF SIDEWALK OR BUILDING STRUCTURE.
- LOCATION AND LAYOUT OF ALL SHRUBS AND TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED.
- ALL TREES ARE TO BE STAKED AND GUYED PER PLANTING DETAILS.



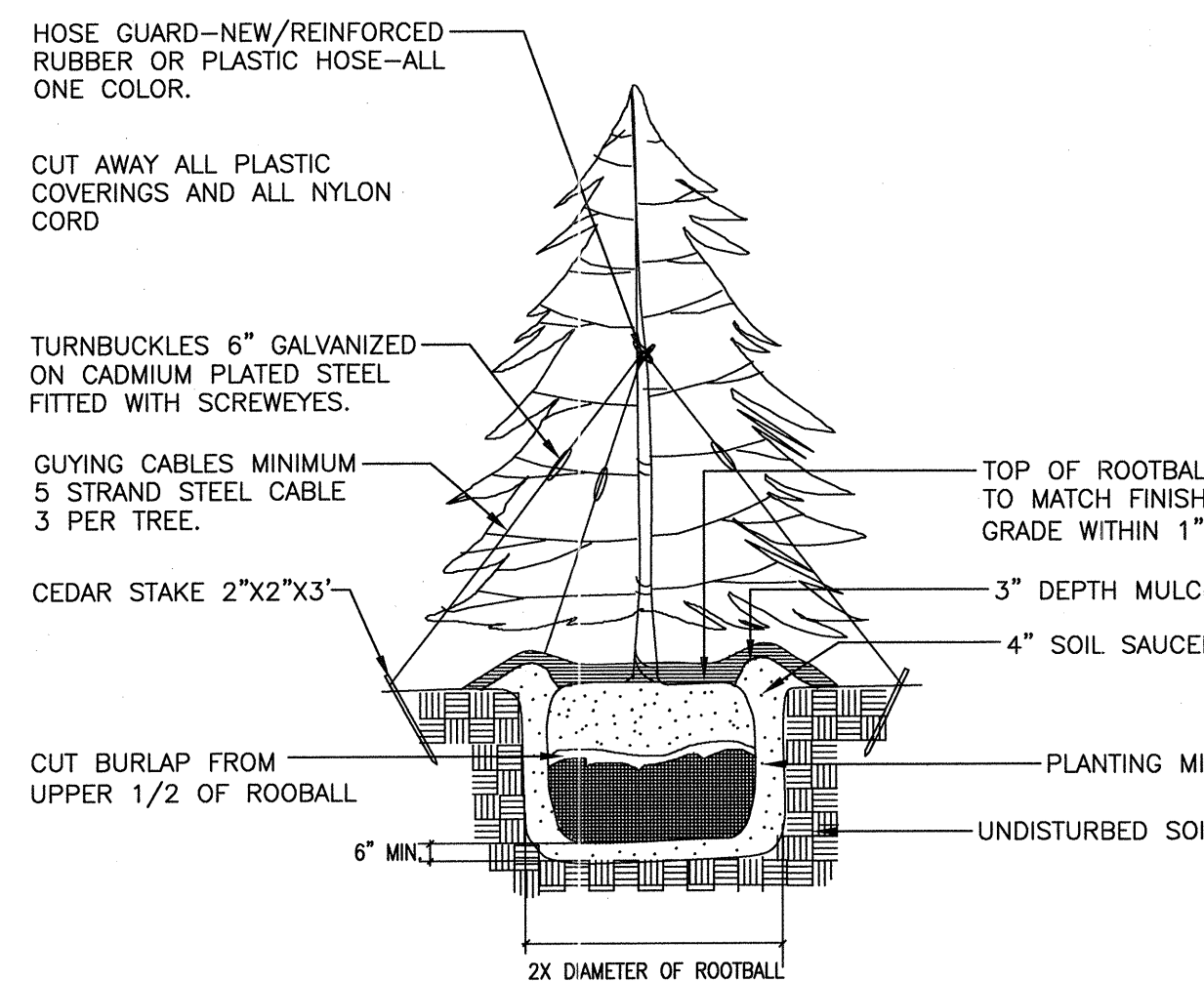
1 TREE PLANTING DETAIL
NOT TO SCALE 329343.39-01



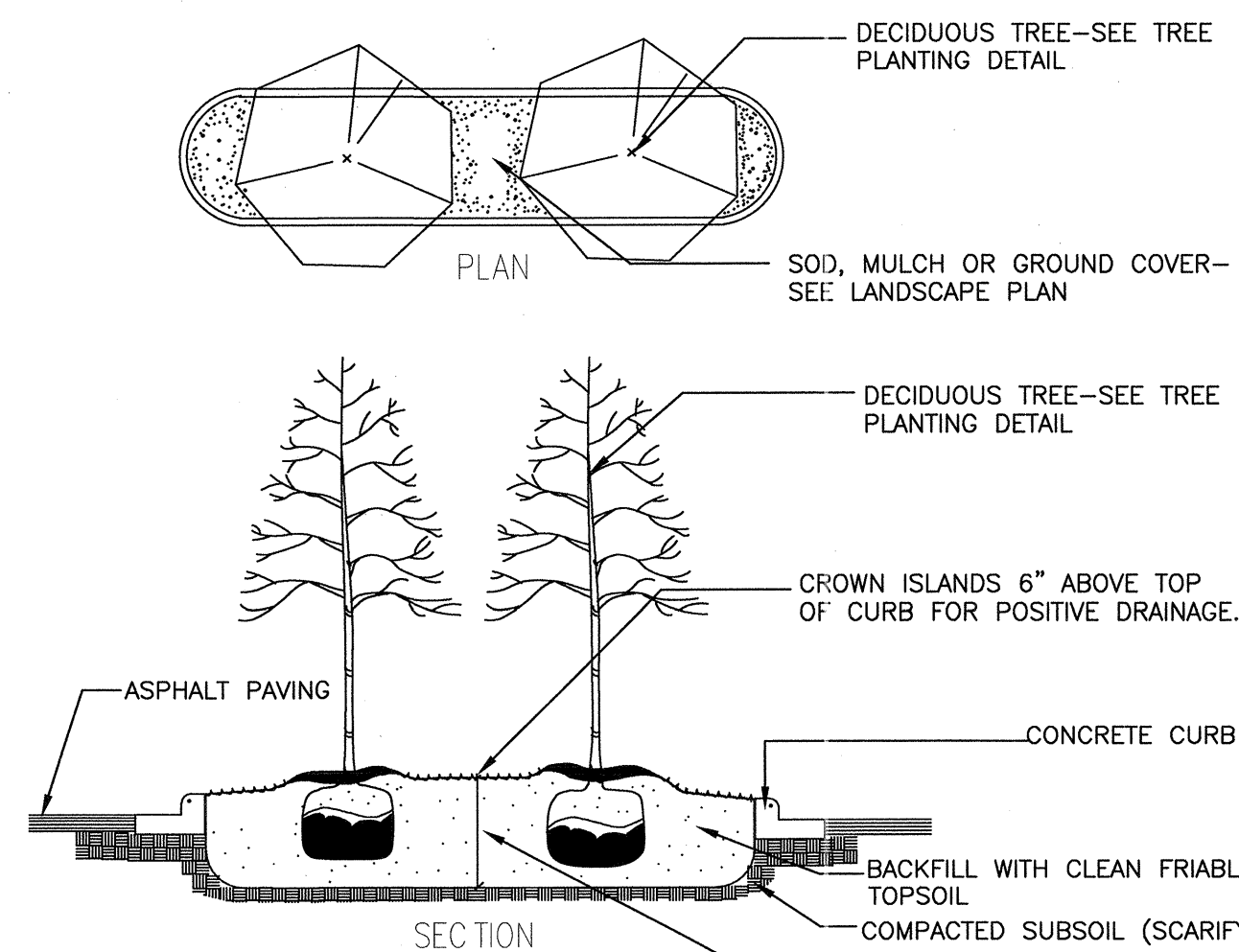
4 SHRUB PLANTING DETAIL
NOT TO SCALE 329333.16-01



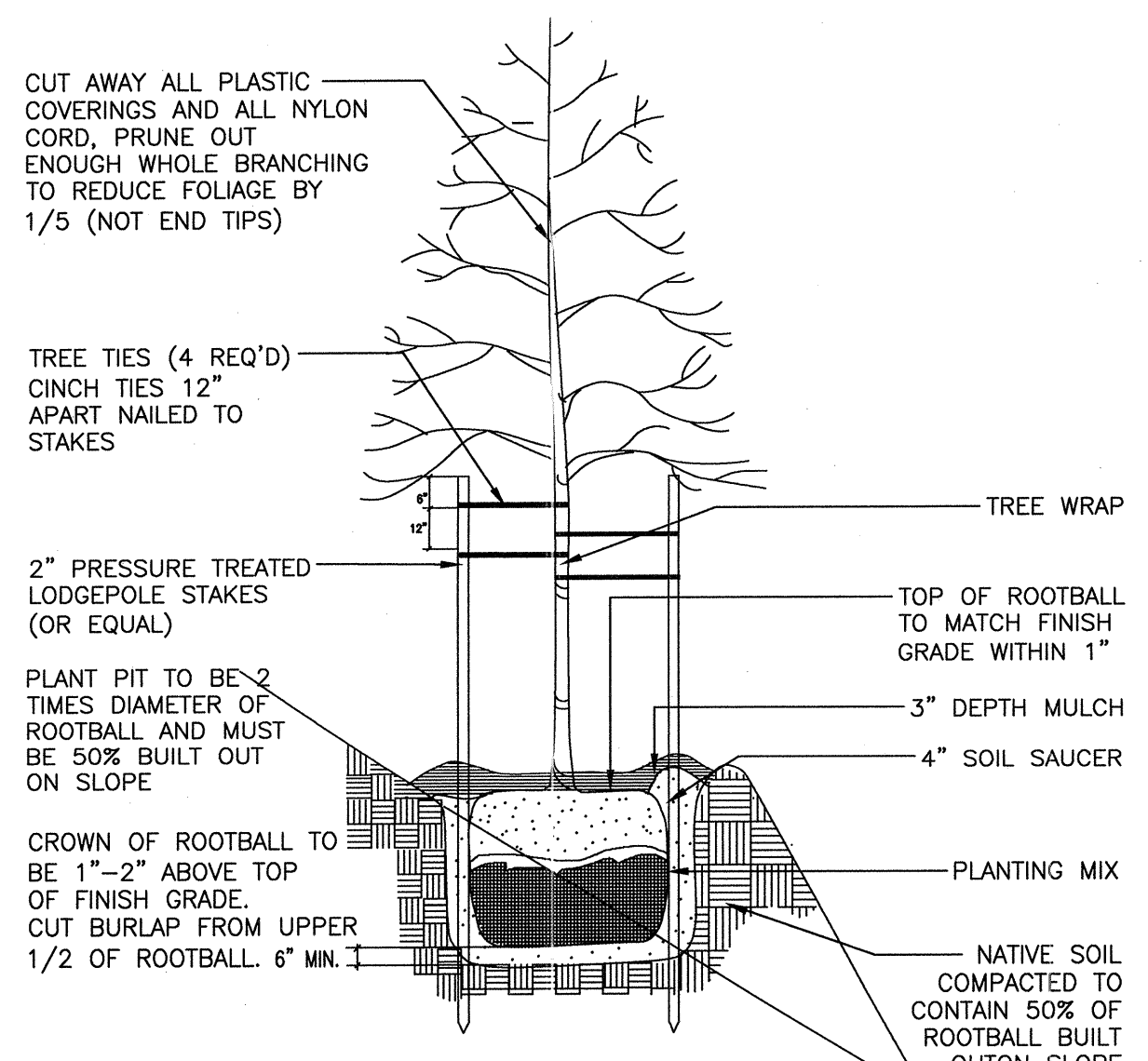
5 GROUNDCOVER PLANTING DETAIL
NOT TO SCALE 329333.83-01



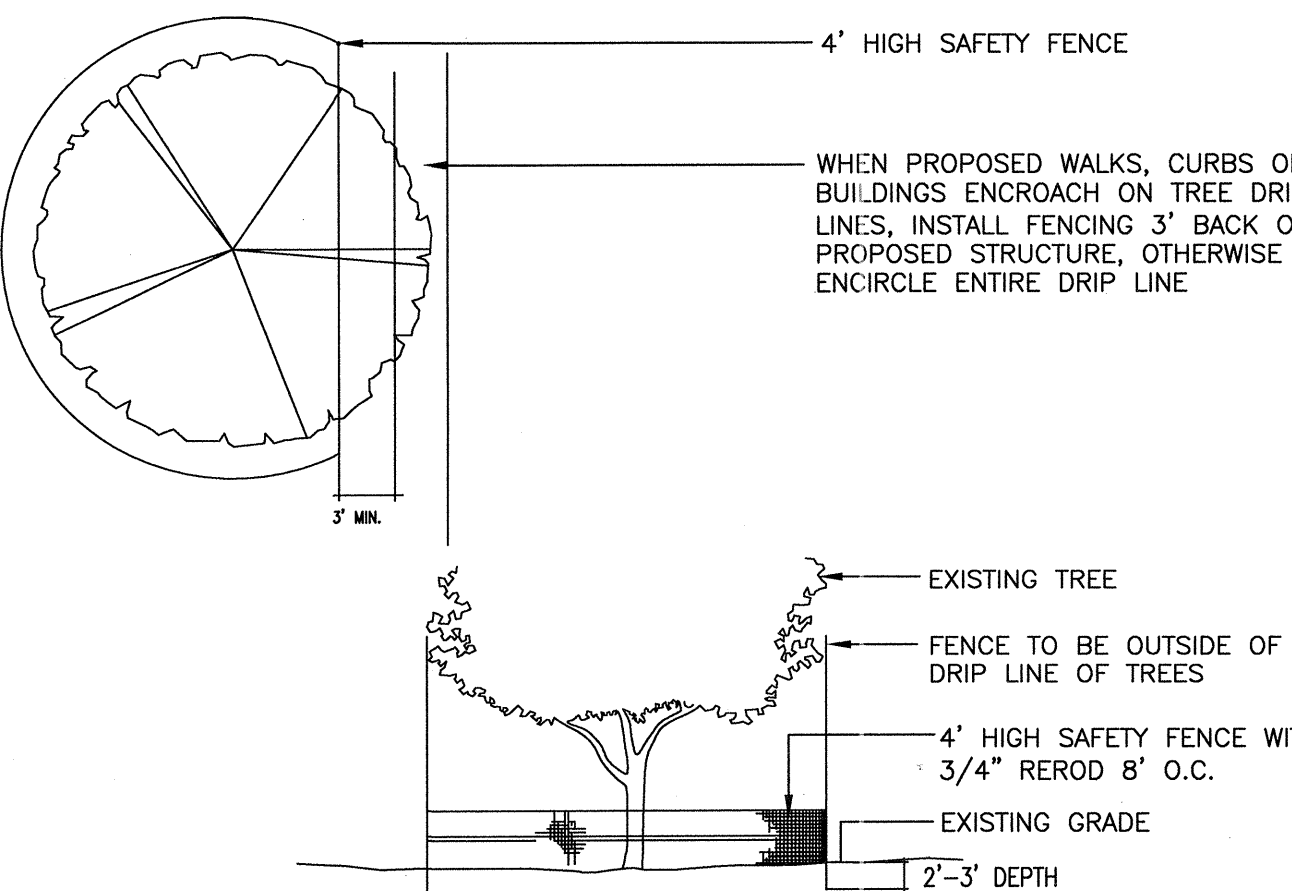
2 EVERGREEN TREE PLANTING DETAIL
1" = 1" 329343.46-01



6 TYPICAL ISLAND PLANTING DETAIL
NOT TO SCALE 329343.69-01



3 TREE PLANTING DETAIL (SLOPE)
NOT TO SCALE 329343.39-02



7 TREE PROTECTION DETAIL
NOT TO SCALE 329343.67-01

"ALTA/ACSM LAND TITLE SURVEY"

1923-1935 MAIN STREET

CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN

TO GB REAL ESTATE INVESTMENTS, LLC, A WISCONSIN LIMITED LIABILITY COMPANY AND FIRST AMERICAN TITLE INSURANCE COMPANY - EVANS TITLE DIVISION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a)(b), 8, 9, 11(a)(b), 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 17, 2015.

ROBERT F. REIDER, REGISTRATION NO. 1251 DATED

SCHEDULE B-II: FIRST AMERICAN TITLE INSURANCE COMPANY-EVANS TITLE DIVISION, COMMITMENT NUMBER# 2655765, EFFECTIVE DATE: JUNE 8, 2015:

1-8) NOT PLOTTABLE.

9) PUBLIC OR PRIVATE RIGHTS IN SUCH PORTION OF THE SUBJECT PREMISES AS MAY BE PRESENTLY USED, LAID OUT OR DEDICATED IN ANY MANNER WHATSOEVER, FOR STREET, HIGHWAY, AND/OR ALLEY PURPOSES.

10) RESERVATIONS FOR EASEMENTS, BUILDING SETBACK LINES AND OTHER MATTERS SHOWN ON THE RECORDED PLAT OR CERTIFIED SURVEY MAP OF THE SUBJECT PROPERTY DOES AFFECT THE SUBJECT PROPERTY AS SHOWN ON THE DRAWING. SEE DOCUMENT FOR ADDITIONAL DETAILS.

11) SURVEYOR'S AFFIDAVIT AS PER VOLUME 640, PAGE 4 AS DOCUMENT NUMBER 607474, DOES AFFECT THE SUBJECT PROPERTY BUT NOT THE GROUND SURVEY.

12) UTILITY EASEMENT AS PER VOLUME 114, PAGE 393 AS DOCUMENT NUMBER 1335 MAY AFFECT THE SUBJECT PROPERTY, BUT CANNOT BE SPECIFICALLY LOCATED.

13) 27' UTILITY EASEMENT AS PER JACKET 2462, IMAGE 12 AS DOCUMENT NO. 897591, DOES AFFECT THE SUBJECT PROPERTY AS SHOWN ON THE DRAWING. SEE DOCUMENT FOR DETAILS.

14) INGRESS & EGRESS AND PARKING EASEMENT AS PER JACKET 13810, IMAGE 21 AS DOCUMENT NUMBER 1169971, DOES AFFECT THE SUBJECT PROPERTY AS SHOWN ON THE DRAWING. BOTH BUSINESSES LISTED IN THE DOCUMENT NO LONGER EXIST ON THE SUBJECT PROPERTY. SEE DOCUMENT FOR DETAILS.

15) RESTRICTIVE COVENANTS AS PER JACKET 14556, IMAGE 32 AS DOCUMENT NUMBER 1188448, NO LONGER AFFECT THE SUBJECT PROPERTY. RESTRICTIVE COVENANTS HAVE BEEN TERMINATED IN DOCUMENT NUMBER 2618568 (ITEM 22).

16) TERMS AND CONDITIONS OF AN EASEMENT AS PER JACKET 14562, IMAGE 21 AS DOCUMENT NUMBER 1188601 AND JACKET 14952, IMAGE 39 AS DOCUMENT NUMBER 1197937, DO NOT AFFECT THE SUBJECT PROPERTY.

17) 7' RESERVATION FOR ALLEY AS PER VOLUME 1057, PAGE 373 AS DOCUMENT NUMBER 785129, DOES AFFECT THE SUBJECT PROPERTY AS SHOWN ON THE DRAWING. ALLEY HAS BEEN VACATED.

18) RELEASE OF 6' EASEMENT AS PER JACKET 15440, IMAGE 37 AS DOCUMENT NUMBER 1210422, DOES AFFECT THE SUBJECT PROPERTY AS SHOWN ON THE DRAWING. SEE DOCUMENT FOR DETAILS.

19) EASEMENTS AND RESERVATIONS AS PER JACKET 19752, IMAGE 32 AS DOCUMENT NUMBER 1320253, DOES NOT AFFECT THE SUBJECT PROPERTY.

20) TERMS AND PROVISIONS AS PER DOCUMENT NUMBER 2305477, DO AFFECT THE SUBJECT PROPERTY BUT NOT THE GROUND SURVEY. RESTRICTS USE. SEE DOCUMENT FOR DETAILS.

21) SEWER EASEMENT AS PER DOCUMENT NUMBER 2349896, DOES AFFECT THE SUBJECT PROPERTY AS SHOWN.

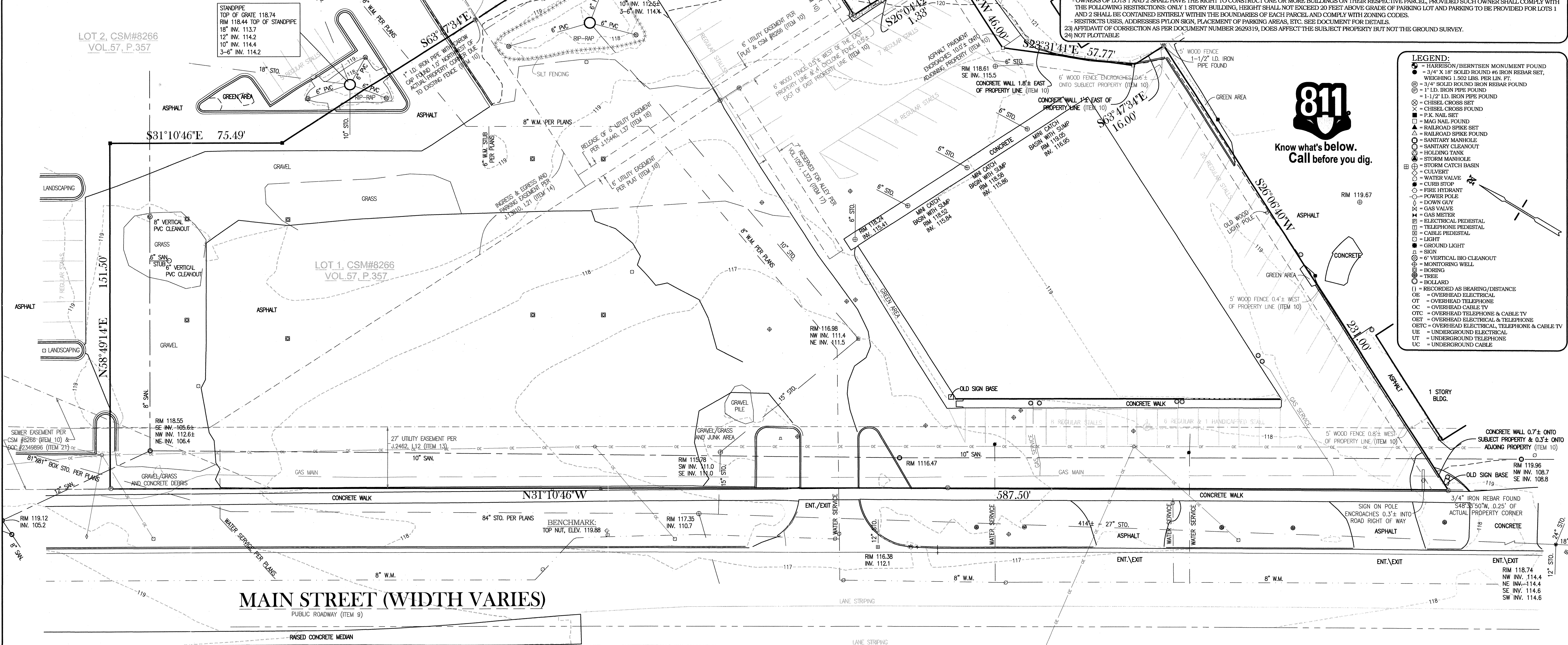
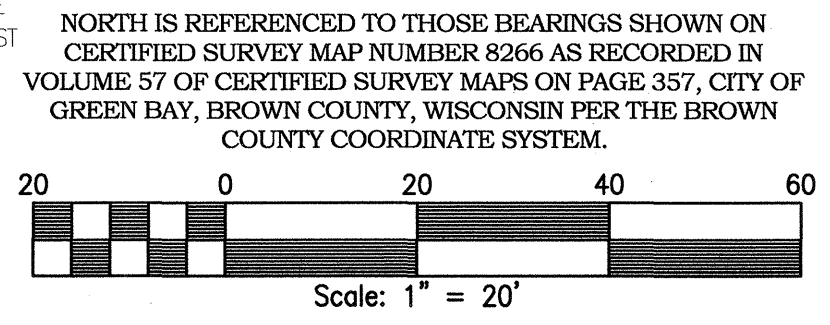
22) DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS PER DOCUMENT NUMBER 2618568, DO AFFECT THE SUBJECT PROPERTY BUT NOT THE GROUND SURVEY.

OWNERS OF LOTS 1 AND 2 SHALL HAVE THE RIGHT TO CONSTRUCT ONE OR MORE BUILDINGS ON THEIR RESPECTIVE PARCEL, PROVIDED SUCH OWNER SHALL COMPLY WITH THE FOLLOWING RESTRICTIONS: ONLY 1 STORY BUILDING, HEIGHT SHALL NOT EXCEED 20 FEET ABOVE GRADE OF PARKING LOT AND PARKING TO BE PROVIDED FOR LOTS 1 AND 2 SHALL BE CONTAINED ENTIRELY WITHIN THE BOUNDARIES OF EACH PARCEL AND COMPLY WITH ZONING CODES.

RESTRICTS USES, ADDRESSES Pylon SIGN, PLACEMENT OF PARKING AREAS, ETC. SEE DOCUMENT FOR DETAILS.

23) AFFIDAVIT OF CORRECTION AS PER DOCUMENT NUMBER 2629319, DOES AFFECT THE SUBJECT PROPERTY BUT NOT THE GROUND SURVEY.

24) NOT PLOTTABLE.



- LEGEND:**
- = HARRISON/BERTSEN MONUMENT FOUND
 - = 3/4" X 18" SOLID ROUND #6 IRON REBAR SET, WEIGHING 1.502 LBS. PER LIN. FT.
 - ⊗ = 3/4" SOLID ROUND IRON REBAR FOUND
 - = 1" I.D. IRON PIPE FOUND
 - = 1 1/2" I.D. IRON PIPE FOUND
 - ⊗ = CHISEL CROSS SET
 - ⊗ = CHISEL CROSS FOUND
 - = P.K. NAIL SET
 - = MAG NAIL FOUND
 - ▲ = RAILROAD SPIKE SET
 - ▲ = RAILROAD SPIKE FOUND
 - = SANITARY MANHOLE
 - = SANITARY CLEANOUT
 - = HOLDING TANK
 - = STORM MANHOLE
 - = STORM CATCH BASIN
 - = CULVERT
 - = WATER VALVE
 - = CURB STOP
 - = FIRE HYDRANT
 - = POWER POLE
 - = DOWN GUY
 - = GAS VALVE
 - = GAS METER
 - = ELECTRICAL PEDESTAL
 - = TELEPHONE PEDESTAL
 - = CABLE PEDESTAL
 - = LIGHT
 - = GROUND LIGHT
 - = SIGN
 - = 6" VERTICAL BIO CLEANOUT
 - = MONITORING WELL
 - = BORING
 - = TREE
 - = BOLLARD
 - () = RECORDED AS BEARING/DISTANCE
 - OE = OVERHEAD ELECTRICAL
 - OT = OVERHEAD TELEPHONE
 - OC = OVERHEAD CABLE TV
 - OTC = OVERHEAD TELEPHONE & CABLE TV
 - OETC = OVERHEAD ELECTRICAL & TELEPHONE
 - UE = UNDERGROUND ELECTRICAL
 - UT = UNDERGROUND TELEPHONE
 - UC = UNDERGROUND CABLE



NOTES:

-THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO. PRIOR TO CONSTRUCTION DIGGERS HOTLINE MUST BE CALLED FOR FIELD LOCATION.

TABLE A: ALTA/ACSM LAND TITLE SURVEY OPTIONAL ITEMS

2) PROPERTY ADDRESS: 1923-1935 MAIN STREET, GREEN BAY, WISCONSIN 54302.

3) SUBJECT PROPERTY IS IN ZONE "X" AND NOT LOCATED WITHIN THE FLOOD PLAIN PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAPPING, COMMUNITY-PANEL NUMBER 5509030276R, EFFECTIVE DATE: AUGUST 18, 2006.

4) SAID PARCEL CONTAINS 106,919 SQUARE FEET (2.4545 ACRES) OF LAND MORE OR LESS TOTAL.

6) PARCEL IS ZONED C1 AND R1 PER THE CITY OF GREEN BAY ZONING ORDINANCE.

ZONING REQUIREMENTS:

- MINIMUM LOT AREA: 5,000 SQUARE FEET
- MINIMUM FLOOR AREA RATIO: 0.1 (PRINCIPAL USE SURFACE PARKING LOTS ARE NOT REQUIRED TO MEET THE FLOOR AREA RATION)
- MAXIMUM IMPERVIOUS SURFACE COVERAGE: 80%
- MINIMUM LOT WIDTH: 75 FEET FRONTAGE ON PUBLIC STREET
- MAXIMUM BUILDING HEIGHT: 35 FEET (MAY BE INCREASED WITH A CONDITIONAL USE PERMIT)
- FRONT YARD SETBACK: MINIMUM 15 FEET
- SIDE YARD SETBACK: 6 FEET MINIMUM. SIDE AND REAR YARDS SHALL BE REQUIRED WHEN A NONRESIDENTIAL USE ADJOINS A SIDE YARD OF A RESIDENTIAL PROPERTY OR AS NECESSARY TO PROVIDE ACCESS FOR DELIVERIES, LOADING, ETC.
- REAR YARD SETBACK: 6 FEET MINIMUM. SIDE AND REAR YARDS SHALL BE REQUIRED WHEN A NONRESIDENTIAL USE ADJOINS A SIDE YARD OF A RESIDENTIAL PROPERTY OR AS NECESSARY TO PROVIDE ACCESS FOR DELIVERIES, LOADING, ETC.
- SEE PARKING REQUIREMENTS BASED ON USE OF PROPERTY.

9) EXISTING PARKING
56 REGULAR PARKING STALLS
1 HANDICAPPED STALLS
57 TOTAL PARKING STALLS

16) THERE WAS EVIDENCE OF RECENT EARTH WORK AND BUILDING CONSTRUCTION.

17) THERE ARE NO PLANS TO WIDEN THE STREET RIGHT-OF-WAY AT THIS TIME.

18) THERE WAS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE, SUMP OR SANITARY LANDFILL ON THE DATE OF THE FIELD SURVEY WORK.

LEGAL DESCRIPTION:

LOT ONE (1), VOLUME 57 CERTIFIED SURVEY MAPS, PAGE 357, MAP NO. 8266, AS DOCUMENT NO. 2602736; SAID MAP BEING ALL OF LOTS 1, 2, 3, 4 AND OUTLOT OF VOLUME 5 CERTIFIED SURVEY MAPS, PAGE 389, MAP NO. 1371, VACATED HUTT STREET AND ERMA DRIVE AS DESCRIBED IN JACKET 17618, IMAGE 15 AS DOCUMENT NO. 1257854, VACATED ERMA DRIVE AS DESCRIBED IN VOLUME 741, PAGE 247, PART OF LOTS 7 AND 8 ACCORDING TO THE RECORDED PLAT OF PRIVATE CLAIMS 3, 4, 5, 6, AND 7, EAST SIDE OF FOX RIVER, KNOWN AS ASTOR'S SUBDIVISION OF PRIVATE CLAIMS 3-7, ALL OF LOTS 5 AND 6, BLOCK 2, OF HILLSIDE ADDITION, ALL OF PARCEL A OF VOLUME 2 CERTIFIED SURVEY MAPS, PAGE 315, MAP NO. 508, ALL OF PARCEL A OF VOLUME 3 CERTIFIED SURVEY MAPS, PAGE 83, MAP NO. 728, AND PART OF LOTS 43 AND 44 OF THE FIRST ADDITION TO ST. BERNARD HEIGHTS, ALL IN THE CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN TAX PARCEL NUMBER: 21-1323-1

SCALE	1" = 20'
DATE	9-28-2015
PROJECT NO.	C065.13-15

GREENBERG FARROW
ATTENTION: PAUL M. PHILLIPS, PE
1050 SOUTH GRINDER STREET
APPLETON, WISCONSIN 54914
PROJECT: 1923-1935 MAIN ST., CITY OF GREEN BAY, WISCONSIN

DESIGNED	DRWN	CHKD
RDD	RR	RR

CAROW LAND SURVEYING CO., INC.
615 N. LYNNDALE DRIVE
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168 FAX: (920)731-5673

INT.	DATE	REVISIONS