

October 17, 2018  
File No. 25218152.01

Mr. Wendell Wojner  
Wisconsin Department of Natural Resources  
South Central Service Center  
3911 Fish Hatchery Road  
Fitchburg, WI 53711

Subject: Materials Management Plan  
2801 Marshall Court (The Lodgic), Shorewood Hills, Wisconsin  
WDNR BRRTS # Not Yet Assigned

Dear Wendell:

SCS Engineers (SCS) is submitting this Materials Management Plan on behalf of Stone House Development, Inc. The Materials Management Plan provides guidance for the management of contaminated fill soil, and possibly impacted groundwater during the redevelopment of the property at 2801 Marshall Court in Shorewood Hills, WI. The property is owned by Marshall Court Investors, LLC, and consists of approximately 0.474 acres with a vacant office building and parking area. The redevelopment plans include demolition of the existing office building and construction of a two-story commercial building with two levels of underground parking. Stone House Development, Inc., is planning to redevelop the property at 2801 Marshall Court beginning in late October 2018.

Please provide acknowledgement of this submittal and direct your comments and questions to Betty at 608-216-7331 or email [bsocha@scsengineers.com](mailto:bsocha@scsengineers.com).

Sincerely,



Betty J. Socha, PhD, PG  
Senior Project Manager  
SCS Engineers



Tony Kollasch  
Project Hydrogeologist  
SCS Engineers

BJS/lmh/TJK

cc: Richard Arnesen, Stone House Development, Inc.

Encl. Materials Management Plan

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# Materials Management Plan

2801 Marshall Court (The Lodgic)  
Shorewood Hills, Wisconsin 53705

Prepared for:

Stone House Development, Inc.  
1010 East Washington Avenue  
Madison, Wisconsin 53703

**SCS ENGINEERS**

25218152.01 | October 17, 2018

2830 Dairy Drive  
Madison, WI 53718-6751  
608-224-2830

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## 1.0 INTRODUCTION

This Materials Management Plan provides guidance for the management of contaminated fill soil, and possibly impacted groundwater during the redevelopment of the property at 2801 Marshall Court in Shorewood Hills, WI. The property is owned by Marshall Court Investors, LLC, and consists of 0.474 acres with a vacant office building and parking area. The location of the property is shown on **Figure 1**. The existing conditions at the property are shown on **Figure 2**.

## 2.0 REDEVELOPMENT PLANS

Stone House Development, LLC, is planning to redevelop the property at 2801 Marshall Court beginning in late October 2018. Selected sheets from the plans set for the project are included as **Appendix A**. The redevelopment plans include demolition of the existing office building and construction of a two-story commercial building with two levels of underground parking. The redevelopment project is known as “The Lodgic.” Property boundaries will be revised to accommodate the new building, a public bike path, and roadway as shown on the certified survey map (CSM) included in **Appendix B**.

## 3.0 SITE ENVIRONMENTAL CONDITIONS

Fill soils were initially recognized in borings drilled in April 2018 for the geotechnical investigation that was conducted in conjunction with plans to redevelop the property. A Phase 2 Environmental Site Assessment was conducted by SCS Engineers (SCS) in September 2018. The Phase 2 investigation included borings on the parking areas adjacent 2725 Marshall Court and south of 2801 Marshall Court (**Figure 2**). These parking areas will not be redeveloped as part of the “The Lodgic” project, but will be taken over by the Village of Shorewood Hills and developed as a public bike path in 2019. The Lodgic will be located on Lot 2 as shown on the CSM in **Appendix B**.

The Phase 2 Environmental Site Assessment (ESA) identified polynuclear aromatic hydrocarbon (PAH) compounds and metals in the fill soil containing cinders, ash, brick, and other debris. In addition, chlorinated volatile organic compounds (CVOCs) have been detected in groundwater samples collected from monitoring wells located on the south side of the 2801 Marshall Court property. The CVOCs in groundwater are associated with releases from the dry cleaners formerly located on the McGettigan property located across the street at 2807 University Avenue. Information from the McGettigan CVOC investigation is included in **Appendix C**.

Following is a summary of environmental site conditions. Analytical data are summarized in **Tables 1 through 3**.

### 3.1 SOILS

**Fill Soils** – Fill soils were encountered at all borings installed. The fill soil ranges in thickness from about 6 feet at G7 and G8, to about 10 feet at G4 and G6. The fill soil are generally silty sand and poorly-graded sand with silt, but include silty and clayey soils and at some locations including cinders, ash, brick, and glass. The fill soil layers with cinders, ash, brick, and glass range from 1 foot thick at G4, to 5 feet thick at G6.

**PAHs and Metals in Soil** – PAHs and metals were detected in the fill soils collected at G2, G3, and G5 at concentrations that exceed the Wis. Adm. Code NR 720 residual contaminant levels (RCLs) for the groundwater pathway and the non-industrial direct contact standard (**Tables 2 and 3**). The industrial direct contact standard for benzo(a)pyrene was exceeded in one sample (G3 at 4-6 feet below

ground surface [bgs]). Arsenic was detected in all samples tested at concentrations that exceed the industrial direct contact standard, but with the exception of the sample from G2, the concentrations are less than the background threshold value.

**VOCs in Soil** – VOCs were not detected in the two soil samples (G1 and G5) collected from the borings drilled near the geotechnical borings (B1 and B5) where odors were noted. No elevated photoionization detector (PID) readings were obtained in the field screening of soil samples from the Geoprobe™ (Geoprobe) borings and no odors were noted. The VOC test results are summarized in **Table 1**.

## 3.2 GROUNDWATER

**Groundwater Elevation** – Soils encountered in the geoprobe borings appeared to be saturated at depths of about 7 to 10 feet bgs. The groundwater levels measured at the temporary well TW-1 was 9.5 feet bgs, which is an elevation of about 871 feet mean sea level (MSL). The shallow groundwater/saturated soils observed in the geoprobe borings is likely due to the recent heavy rains creating mounded conditions.

Groundwater levels observed in the monitoring wells MW-3 and MW-5 installed on the 2801 Marshall Court property for the groundwater investigation of a tetrachloroethylene (PCE) release at the McGettigan dry cleaners site located across the street at 2803-2807 University Avenue indicated depth to groundwater was about 20 feet bgs on September 19, 2018. The corresponding groundwater elevation was approximately 858.5 feet MSL. Historically, depth to groundwater at the two wells was about 25-30 feet bgs (**Table 3 in Appendix C**).

**Groundwater Flow Direction** – Groundwater flow in the area is generally to the north as shown on the water table map from the McGettigan investigation (**Figure 1 in Appendix C**).

**VOCs in Groundwater** – Chlorinated compounds including PCE, trichloroethylene, cis-1,2-dichloroethylene, and vinyl chloride have been detected in samples from the monitoring wells on the 2801 Marshall Court property historically, though levels have decreased and only PCE has been detected in the last several sampling events (**Table 2 in Appendix C**).

Analytical results for groundwater samples collected on June 6, 2018, from MW-3 and MW-5 for the McGettigan dry cleaners groundwater investigation indicate concentrations of PCE that exceed the NR 140 preventive action limit (PAL). No VOCs were detected in MW-8, the McGettigan monitoring well installed downgradient of the 2801 Marshall Court property (**Table 2 in Appendix C**).

Analytical results for groundwater samples collected on September 19, 2018, from MW-3 and MW-5 for the McGettigan dry cleaners groundwater investigation indicate concentrations of PCE that exceed the NR 140 enforcement standard (ES), and PAL, respectively. No VOCs were detected in MW-8, the monitoring well downgradient of the 2801 Marshall Court property.

No VOCs were detected in the groundwater sample collected from temporary well TW-1 on September 13, 2018.

## 3.3 VAPOR

**Sub-surface Vapors** – Sub-slab vapor testing was conducted at the 2801 and 2727 Marshall Court building for the McGettigan dry cleaners site investigation in March and July 2016. No CVOCs were detected in the sub-slab vapor samples collected at the two sites at concentrations greater than the vapor risk screening levels (**Table 1 in Appendix C**).

### 3.4 CONCLUSIONS

Results of investigations indicate the following:

- PAH- and metals-contaminated fill soil (fill soil containing ash, cinders, brick, and other minor debris) in layers up to 5 feet thick is present at various depths up to about 10 feet bgs. The estimated volume of PAH- and metals-contaminated fill soil is approximately 3,000 tons.
- The soil contamination is associated with the soil brought onto the site as fill and is likely not related to a release at the site.
- Groundwater results from monitoring wells located at the southern part of the 2801 Marshall Court property indicate low concentrations of PCE that exceed the NR 140 PAL or ES. The depth to groundwater is about 18-20 feet bgs; the groundwater elevation in September 2018 was about 858 feet MSL.
- VOCs were not detected in groundwater sampled at a monitoring well located downgradient of the property, and in groundwater sampled in the central part of the property from a temporary well. Groundwater at the temporary well appeared to be shallower than at the nearby monitoring wells and was observed at about 9 feet bgs; the groundwater elevation of about 871 feet MSL.
- Contaminated soil is present at the site at depths that will be excavated as part of the redevelopment. Excavated contaminated soils should be handled appropriately by landfilling.
- The groundwater contamination is from an off-site source.
- Contaminated groundwater is at a depth of about 20 feet bgs and may have some impact on construction activities if dewatering is required.
- Construction methods also need to address the shallow mounded groundwater present at the property.

### 4.0 MATERIALS MANAGEMENT

Material management activities related to contaminated soil, groundwater, and vapor are summarized below.

#### 4.1 SOIL MANAGEMENT

The site development plan requires soil excavation related to demolition including removing the foundation walls and basement walls and floors, and related to construction of the new building foundation and subsurface parking structures, and replacement of underground utilities. A planned earth retention system consisting of driven piles and timber lagging will reduce the amount of sloping and soil excavation needed, and minimize the effect of saturated soils.

The excavated soils will include fill soils contaminated with metals and PAHs. SCS will assist the excavation contractor in segregating contaminated soil from non-contaminated soil. Segregation will be based on visual observations and previous analytical results of similar soil. VOCs have not been

found on the property, but SCS will field screen soils with a PID if there is an indication of discoloration or odors.

Soil will be transported under manifest to the landfill. The soil profile based on the site history and existing analytical data has been reviewed and the soil accepted as daily cover soils at the Waste Management Madison Prairie Landfill.

## **4.2 GROUNDWATER MANAGEMENT**

Dewatering may be required for construction. Recent groundwater elevations have been about 858 to 857 feet MSL, which is close to the finish elevation of the lower level of parking.

The most recent groundwater analytical data indicated the presence of PCE above groundwater standards. Contaminated groundwater removed during dewatering of the site will be discharged to the sanitary sewer. SCS will assist the excavation contractor to obtain approval from the Madison Metropolitan Sewerage District to discharge contaminated groundwater from construction dewatering to the sanitary sewer. Advance approval from the City of Madison Engineering Division is also required for discharges to the sanitary sewer systems.

## **4.3 VAPORS**

Vapors associated with impacts to groundwater are of minimal concern because the redevelopment plan includes parking facilities on the two lowest levels with no occupied spaces. The parking facility will be well-ventilated to prevent carbon monoxide and other harmful constituents in the air from accumulating. No modifications to the building design are proposed in consideration of vapors associated with groundwater.

## **5.0 UNUSUAL CONDITIONS**

If any underground tanks, unusual odors, staining, fluids, or piping are found, work will stop in that area, and the contractor will notify the owner and SCS of the conditions. SCS will inspect the site to assess the situation.

If potentially contaminated or hazardous material is encountered that is significantly different than what has been previously identified, it will be evaluated by SCS, or other environmental professional, as appropriate for the material encountered.

## **6.0 ROLES AND RESPONSIBILITIES DURING CONSTRUCTIONS**

The following roles and responsibilities have been identified for the project:

Owner (Stone House Development) or General Contractor (Ideal Builders)

- Performs overall project scheduling and retains civil engineer/architect, environmental consultants, and contractor.
- Develops plans and specifications for project earthwork incorporating the requirements of the soil and groundwater management plan.

Civil Engineer (Vierbicher)/Architect (Knothe Bruce Architects)

- Develops utility and storm water management plans compatible with site conditions.



## Environmental Consultant (SCS Engineers)

- Provides on-site observation and documentation of soil and groundwater management.
- Obtains soil profile approval for landfill disposal at an approved landfill.
- Manages special or unanticipated environmental conditions encountered during construction.
- Obtains the appropriate discharge permits for any discharge to the sanitary sewer.
- Documents dewatering activities in accordance with permit specifications, including required sampling and reporting.
- Documents extent of remaining soil contamination, if any, at the completion of the excavation activities.

## Contractor (South Central Contractors [SCC])

- Performs earthwork in accordance with the project construction plans and specifications.
- Informs environmental engineer of schedule and any unusual conditions encountered during development.

## 7.0 REPORTING

Upon completion of all activities, SCS will provide to the WDNR a written report of site activities, documentation of materials disposal, and analytical reports for confirmation soil sampling.

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## Tables

- 1 Soil Analytical Results Summary – VOCs
- 2 Soil Analytical Results Summary – PAHs
- 3 Soil Analytical Results Summary – Metals

**Table 1. Soil Analytical Results Summary - VOCs**  
**Marshall Court Investors, LLC Property (The Lodgic), 2801 Marshall Court - Shorewood Hills, WI / SCS Engineers Project #25218152.00**  
 (Results are in µg/kg, except where noted otherwise)

Sample	Date	Depth (feet)	PID (ppm)	Lab Notes	Benzene	Ethylbenzene	Toluene	Xylenes	1,2,4-TMB	1,3,5-TMB	1,2,4- & 1,3,5-TMB Combined	MTBE	Naphthalene	Other VOCs
G1	9/10/2018	1-2	29.6	(1)	<25.0	<25.0	<25.0	<75.0	<25.0	<25.0	<50.0	<25.0	<40.0	Methylene Chloride <b><u>58.7</u></b> J,B
G5	9/10/2018	2-4	17	(1)	<25.0	<25.0	<25.0	<75.0	<25.0	<25.0	<50.0	<25.0	<40.0	Methylene Chloride <b><u>58.2</u></b> J,B
Trip Blank	9/10/2018	--	--	(1)	<25.0	<25.0	<25.0	<75.0	<25.0	<25.0	<50.0	<25.0	<40.0	ND
NR 720 Groundwater Pathway RCLs with a Wisconsin-Default Dilution Factor of 2					5.1	1,570	1,107.2	3,960	(a)		1,378.7	27	658.2	Methylene Chloride 2.6
NR 720 Non-Industrial Direct Contact RCLs					1,600	8,020	818,000	260,000	219,000	182,000	NE	63,800	5,520	Methylene Chloride 61,800
NR 720 Industrial Direct Contact RCLs					7,070	35,400	818,000	260,000	219,000	182,000	NE	282,000	24,100	Methylene Chloride 1,150,000
CAS No.					71-43-2	100-41-4	108-88-3	1330-20-7	95-63-6	108-67-8	--	1634-04-4	91-20-3	Methylene Chloride 75-09-2

Abbreviations:

µg/kg = micrograms per kilogram or parts per billion (ppb)  
 mg/kg - milligrams per kilogram or parts per million (ppm)  
 CAS No. = Chemical Abstracts Service Number  
 RCLs = Residual Contaminant Levels

VOCs = Volatile Organic Compounds  
 TMB = Trimethylbenzene  
 VOCs = Volatile Organic Compounds

PID = Photoionization Detector  
 ppm = parts per million  
 MTBE = Methyl-tert-butyl ether

ND = Not Detected  
 NE = No Standard Established  
 -- = Not Applicable

Notes:

**Bold+underlined** values exceed an NR 720 RCL, as of June 2018.

(a) NR 720 Groundwater Pathway RCLs for 1,2,4 and 1,3,5 Trimethylbenzene Combined = 1,378.7

Laboratory Notes/Qualifiers:

B = Analyte was detected in the associated method blank.  
 J = Estimated concentration at or above the Limit of Detection and below the Limit of Quantitation  
 (1) Non-detect results are reported on a wet weight basis.

Created by: LMH Date: 9/24/2018  
 Last revision by: LMH Date: 9/24/2018  
 Checked by: BJS Date: 9/24/2018

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**Table 2. Soil Analytical Results Summary - PAHs**  
**Marshall Court Investors, LLC Property (The Lodgic), 2801 Marshall Court - Shorewood Hills, WI / SCS Engineers Project #25218152.00**  
 (Results are in µg/kg, except where noted otherwise)

Sample	Date	Depth (feet)	Lab Notes	Acenaph-thene	Acenaph-thylene	Anthracene	Benzo(a) anthracene	Benzo(b) fluoranthene	Benzo(k) fluoranthene	Benzo(a) pyrene	Benzo(ghi) perylene	Chrysene	Dibenzo(a,h) anthracene	Fluoranthene	Fluorene	Indeno(1,2,3-cd) pyrene	1-Methyl-naphthalene	2-Methyl-naphthalene	Naphthalene	Phenanthrene	Pyrene
G1	9/10/2018	4-6	--	<4.3	6.2 J	24.1	42.3	30.2	17.7	25.4	12.9	46.8	5.2 J	81.5	4.8 J	7.8 J	174	224	67.3	220	80.8
G2	9/10/2018	4-8	--	49.9	8.1 J	103	263	333	128	<b>258</b>	175	<b>278</b>	39.9	608	38.9	141	150	194	103	445	491
G3	9/10/2018	4-6	--	<175	920	1,680	<b>6,040</b>	<b>7,650</b>	2,760	<b>5,860</b>	3,340	<b>5,730</b>	<b>890</b>	14,200	<187	<b>2,960</b>	<181	<225	<380	1,930	11,800
G5	9/10/2018	2-4	--	<85.3	411	701	<b>1,360</b>	<b>1,620</b>	984	<b>1,020</b>	234	<b>1,330</b>	<49.2	3,460	322	166	<88.4	<110	<185	2,140	2,420
G9	9/10/2018	0-2	--	<4.1	3.9 J	17.0 J	31.4	22.0 lp	16.7 lp	19.0	7.0 J	34.3	3.3 J	53.1	<4.4	5.7 J	122	148	60.7	146	58.9
G10	9/10/2018	0-2	--	8.9 J	6.1 J	31.8	49.0	35.8	14.3	30.2	20.3	51.7	7.1 J	82.8	6.7 J	10.7	151	148	49.0	301	69.5
NR 720 Groundwater Pathway RCLs with a Wisconsin-Default Dilution Factor of 2				NE	NE	196,949.2	NE	478.1	NE	470	NE	144.2	NE	88,877.8	14,829.9	NE	NE	NE	658.2	NE	54,545.5
NR 720 Non-Industrial Direct Contact RCLs				3,590,000	NE	17,900,000	1,140	1,150	11,500	115	NE	115,000	115	2,390,000	2,390,000	1,150	17,600	239,000	5,520	NE	1,790,000
NR 720 Industrial Direct Contact RCLs				45,200,000	NE	100,000,000	20,800	21,100	211,000	2,110	NE	2,110,000	2,110	30,100,000	30,100,000	21,100	72,700	3,010,000	24,100	NE	22,600,000
CAS No.				83-32-9	208-96-8	120-12-7	56-55-3	205-99-2	207-08-9	50-32-8	191-24-2	218-01-9	53-70-3	206-44-0	86-73-7	193-39-5	90-12-0	91-57-6	91-20-3	85-01-8	129-00-0

Abbreviations:  
 µg/kg = micrograms per kilogram or parts per billion (ppb)      -- = Not Applicable      NE = No Standard Established  
 PAHs = Polynuclear Aromatic Hydrocarbons      RCLs = Residual Contaminant Levels      CAS No. = Chemical Abstracts Service Number

Notes:  
**Bold+underlined** values meet or exceed an NR 720 RCL, as of June 2018.

Laboratory Notes/Qualifiers:  
 J = Estimated concentration at or above the Limit of Detection and below the Limit of Quantitation  
 lp = Benzo(b)fluoranthene and benzo(k)fluoranthene were separated in the check standard but did not meet the resolution criteria in SW846 8270C. Sample results included are reported as individual isomers, but the lab and the client must recognize them as an isomeric pair.

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 Last revision by: LMH      Date: 9/24/2018  
 Checked by: BJS      Date: 9/24/2018

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**Table 3. Soil Analytical Results Summary - Metals**  
**Marshall Court Investors, LLC Property (The Lodgic), 2801 Marshall Court - Shorewood Hills, WI / SCS Engineers Project #25218152.00**  
 (Results are in mg/kg, except where noted otherwise)

Sample	Date	Depth (feet)	Lab Notes	Arsenic	Barium	Cadmium	Chromium (Total)	Lead	Mercury	Selenium	Silver
G1	9/10/2018	4-6	--	<b><u>3.6</u></b> J	68.2	0.21 J	12.7	10.0	0.037 J	<1.3	<0.35
G2	9/10/2018	4-8	--	<b><u>9.2</u></b>	NA	<b><u>0.76</u></b>	24.3	<b><u>78.0</u></b>	NA	NA	NA
G3	9/10/2018	4-6	--	<b><u>4.4</u></b> J	NA	0.32 J	48.2	21.1	NA	NA	NA
G6	9/10/2018	4-6	--	<b><u>5.2</u></b> J	127	0.32 J	17.1	23.5	<0.038	<1.4	<0.38
G10	9/10/2018	0-2	--	<b><u>7.0</u></b>	38.4	<b><u>0.83</u></b>	9.4	<b><u>66.3</u></b>	<0.036	<1.4	<0.36
NR 720 Groundwater Pathway RCLs with a Wisconsin-Default Dilution Factor of 2				0.584	164.8	0.752	360,000 <sup>2</sup>	27	0.208	0.52	0.8491
NR 720 Non-Industrial Direct Contact RCLs				0.677	15,300	71.1	NE <sup>1</sup>	400	3.13	391	391
NR 720 Industrial Direct Contact RCLs				3	100,000	985	NE <sup>1</sup>	800	3.13	5,840	5,840
Background Threshold Value				8	364	1	44	52	NE	NE	NE
CAS No.				7440-38-2	7440-39-3	7440-43-9	7440-47-3	7439-92-1	7439-97-6	7782-49-2	7440-22-4

Abbreviations:

mg/kg - milligrams per kilogram or parts per million (ppm)  
 CAS No. = Chemical Abstracts Service Number

RCLs = Residual Contaminant Levels  
 -- = Not Applicable

NA = Not Analyzed  
 NE = No Standard Established

Notes:

**Bold+underlined** values exceed NR 720 RCLs, as of June 2018.

<sup>1</sup> Chromium Direct Contact Standards: III Non-Industrial Direct Contact RCL = 100,000 mg/kg; Industrial Direct Contact RCL = 100,000 mg/kg  
 VI Non-Industrial Direct Contact RCL = 0.301 mg/kg; Industrial Direct Contact RCL = 6.36 mg/kg

<sup>2</sup> If no Chromium-VI

Background threshold values are non-outlier trace element maximum levels in Wisconsin surface soils from the USGS Report at: <http://pubs.usgs.gov/sir/2011/5202>, as listed in the WDNR RR Program's RCL spreadsheet at: <http://dnr.wi.gov/topic/Brownfields/professionals.html>.

Laboratory Notes/Qualifiers:

J = Estimated concentration at or above the Limit of Detection and below the Limit of Quantitation

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 Checked by: BJS Date: 9/24/2018

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## Figures

- 1 Site Location Map
- 2 Phase 2 Sampling Locations



MADISON WEST QUADRANGLE  
 WISCONSIN-DANE CO.  
 7.5 MINUTE SERIES (TOPOGRAPHIC)  
 SW/4 MADISON 15' QUADRANGLE  
 1983  
 SCALE: 1" = 2,000'



CLIENT	STONE HOUSE DEVELOPMENT INC. 1010 E. WASHINGTON AVE. MADISON, WI 53703		SITE	2801 MARSHALL COURT LLC SHOREWOOD HILLS, WISCONSIN		ENGINEER	SCS ENGINEERS 2830 DAIRY DRIVE MADISON, WI 53718-6751 PHONE: (608) 224-2830		SITE LOCATION MAP	FIGURE 1
	PROJECT NO.	25218152.00		DRAWN BY:	RJG		CHECKED BY:	BS		
	DRAWN:	09/26/18								
	REVISED:	09/26/18								

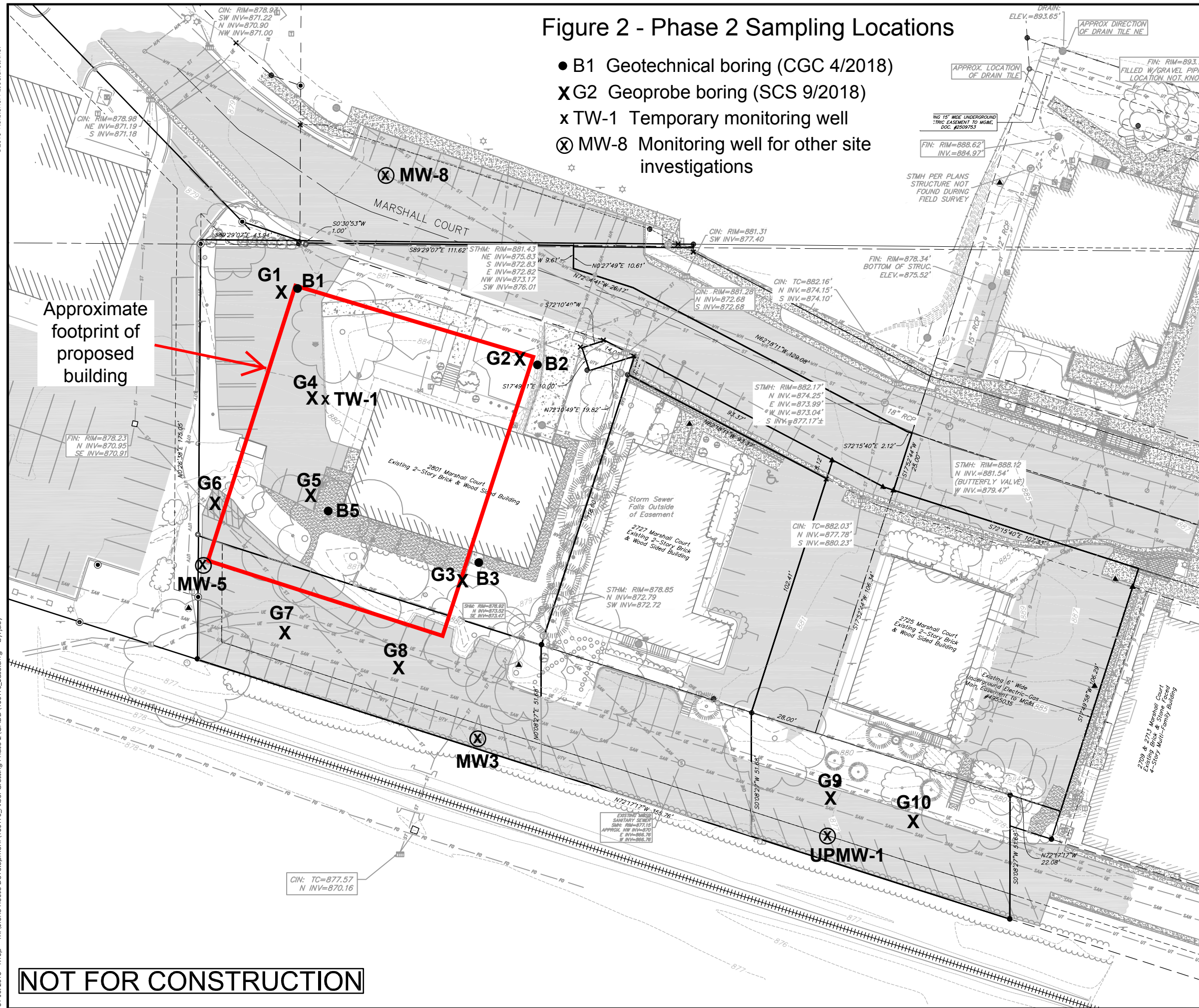


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31 Jul 2018 - 1:16p M:\Stone House Development\150190\_Arbor Crossing Phase 2\CADD\150190\_Base.dwg by:jdoy

### Figure 2 - Phase 2 Sampling Locations

- B1 Geotechnical boring (CGC 4/2018)
- X G2 Geoprobe boring (SCS 9/2018)
- x TW-1 Temporary monitoring well
- ⊗ MW-8 Monitoring well for other site investigations



**TOPOGRAPHIC SYMBOL LEGEND**

●	EXISTING BOLLARD
⊠	EXISTING POST
+	EXISTING SIGN
⊞	EXISTING CURB INLET
⊙	EXISTING FIELD INLET
⊕	EXISTING STORM MANHOLE
⊗	EXISTING SANITARY MANHOLE
⊞	ROOF DOWNSPOUT
⊕	EXISTING FIRE HYDRANT
⊞	EXISTING STANDPIPE
⊕	EXISTING WATER MAIN VALVE
⊞	EXISTING CURB STOP
⊞	EXISTING GAS VALVE
⊞	EXISTING AIR CONDITIONING PEDESTAL
⊞	EXISTING DOWN GUY
⊞	EXISTING ELECTRIC MANHOLE
⊞	EXISTING ELECTRIC PEDESTAL
⊞	EXISTING TRANSFORMER
⊞	EXISTING LIGHT POLE
⊞	EXISTING GENERIC LIGHT
⊞	EXISTING UTILITY POLE
⊞	EXISTING TV PEDESTAL
⊞	EXISTING TELEPHONE MANHOLE
⊞	EXISTING TELEPHONE PEDESTAL
⊞	EXISTING HANDICAP PARKING
⊞	EXISTING DECIDUOUS TREE
▨	ASPHALT PAVEMENT/DRIVEWAY PARKING LOT
▨	CONCRETE PAVEMENT/WALK
▨	BRICK PAVERS
▨	GRAVEL PATH

- NOTES:**
- THIS SURVEY WAS PREPARED BASED UPON INFORMATION PROVIDED IN THE SUBDIVISION APPROVAL REPORT 30/60 TITLE SEARCH NO. NCS-745776-MAD, DATED AUGUST 04 09, 2015 AT 7:00A.M., FROM FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES, 10 W. MIFFLIN STREET, SUITE 302, MADISON, WI 53703.
  - AREA OF PARCEL SURVEYED IS 33,362 SQUARE FEET MORE OR LESS.
  - THIS SURVEY IS BASED UPON FIELD SURVEY WORK PERFORMED ON JULY 23 & 24, AND AUGUST 6 & 11, 2015. ANY CHANGES IN SITE CONDITIONS AFTER AUGUST 11, 2015 ARE NOT REFLECTED BY THIS SURVEY.
  - UTILITY LOCATIONS WERE FIELD LOCATED BASED UPON SUBSTANTIAL, VISIBLE, ABOVE GROUND STRUCTURES, UPON MAPS PROVIDED TO THE SURVEYOR, OR UPON MARKINGS ON THE GROUND PLACED BY UTILITY COMPANIES AND/OR THEIR AGENTS. NO WARRANTY IS GIVEN TO THE UTILITY MARKINGS BY OTHERS OR THAT ALL UNDERGROUND UTILITIES AFFECTING THIS PROPERTY WERE MARKED AND SUBSEQUENTLY LOCATED FOR THIS SURVEY. THE SIZE OF WATER MAIN AND SANITARY SEWER HAS BEEN NOTED PER MAPS PROVIDED TO THE SURVEYOR.
  - NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING CONDITION, OR CAPACITY OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES CONTACT THE APPROPRIATE AGENCIES.
  - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OWNERSHIP TITLE EVIDENCE.
  - CONTOURS AND ELEVATIONS DEPICTED HEREON ARE BASED UPON THE NAVD88 DATUM.

# NOT FOR CONSTRUCTION

**vierbicher**  
planners | engineers | advisors  
Phone: (800) 261-3898

**Existing Conditions Plan**

The Lodge  
Village of Shorewood Hills  
Dane County, Wisconsin

NO.	DATE	REVISIONS	REMARKS
1	7/27/18	Village Resubmittal	
2	7/27/18	Village Resubmittal	

SCALE: AS SHOWN

DATE: 05/23/2018

DRAFTER: JARC

CHECKED: JDJOY

PROJECT NO.: #150190

SHEET: 1 OF 7

DWG. NO.: C-0.1

## Appendix A

### Partial “Lodgic” Plan Set (2018-09-17)



# LODGC

Village of Shorewood Hills  
2801 Marshall Ct.  
Shorewood Hills, WI



**knothe + bruce**  
ARCHITECTS

knothebruce.com 608.836.3690  
7601 University Ave. • Suite 201 • Middleton, WI 53562

KEY PLAN

ABBREVIATIONS	GRAPHIC SYMBOLS	PROJECT INFO	CONTACTS	SHEET INDEX
<p>@ AT A.B. ANCHOR BOLT A/C AIR CONDITIONER ACCESS. ACCESSIBLE ACT ACOUSTICAL CEILING TILE ADJ. ADJACENT ADJ. R.&amp;S. ADJUSTABLE ROD AND SHELF A.F.F. ABOVE FINISH FLOOR AL ALUMINUM ALT. ALTERNATE ALUM. ALUMINUM APPROX. APPROXIMATE B## BASE CABINET BD. BOARD BIT. BITUMINOUS BLDG. BUILDING BRG. BEARING CAB. CABINET CJ CONTROL JOINT CLG. CEILING CMU CONCRETE MASONRY UNIT COL. COLUMN COMM. COMMUNICATION CONT. CONTINUOUS CORR. CORRIDOR CPT CARPET CT CERAMIC TILE D DRYER DB## DRAWER BASE CABINET D.F. DRINKING FOUNTAIN DIA. DIAMETER DIM. DIMENSION DN DOWN D.S. DOWN SPOUT D.T. DRAIN TILE DW DISHWASHER EA. EACH ELEC. ELECTRIC ELEV. ELEVATION OR ELEVATOR EJ EXPANSION JOINT EQ. EQUAL E.W.C. ELECTRIC WATER COOLER EXIST. EXISTING EXP. EXPANSION EXT. EXTERIOR F.E. FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET F.D. FLOOR DRAIN FIN. FINISHED FLR. FLOOR FNDN. FOUNDATION F.O.C. FACE OF CONCRETE F.O.M. FACE OF MASONRY F.O.S. FACE OF STUD F.R.P. FIBERGLASS REINFORCED PANEL FT. FOOT OR FEET FTG. FOOTING GA. GAUGE G.C. GENERAL CONTRACTOR G.T. GIRDER TRUSS G.W.B. GYPSUM WALL BOARD GYP. GYPSUM H.B. HOSE BIB HCW HOLLOW CORE WOOD HGT. HEIGHT H.M. HOLLOW METAL HORZ. HORIZONTAL HR HOUR HTG. HEATING HVAC HEATING/VENTILATION/AIR CONDITIONING IBC INTERNATIONAL BUILDING CODE IFC INTERNATIONAL FIRE CODE IMC INTERNATIONAL MECHANICAL CODE INSUL. INSULATION INT. INTERIOR INV. INVERT JT. JOINT LAV. LAVATORY LLH LONG LEG HORIZONTAL</p>	<p>LLV LONG LEG VERTICAL LS## LAZY SUSAN LVP LUXURY VINYL PLANK LVT LUXURY VINYL TILE MATL. MATERIAL MAX. MAXIMUM MC MEDICINE CABINET MECH. MECHANICAL MFR. MANUFACTURER(S) MH. MANHOLE MIN. MINIMUM M.O. MASONRY OPENING MOD. MODULE M.R. MOISTURE RESISTANT MTL. METAL N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE O.C. ON CENTER O.D. OVERFLOW DRAIN O.S.B. ORIENTED STRAND BOARD OPP. OPPOSITE HAND P.C. PRECAST CONCRETE P.D.F. POWER DRIVEN FASTENER PLBG. PLUMBING P.T. PRESSURE TREATED PLWD. PLYWOOD PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH Q.T. QUARRY TILE ##R NUMBER OF STAIR RISERS R.D. ROOF DRAIN REINF. REINFORCING OR REINFORCED REM. REMOVABLE REQ'D. REQUIRED R.O. ROUGH OPENING R. &amp; S. ROD AND SHELF SB## SINK BASE CABINET SCW SOLID CORE WOOD SF SQUARE FEET SH. SHELF OR SHELVES SIM. SIMILAR S.M. SHEET METAL SPECS. SPECIFICATIONS SQ. SQUARE STD. STANDARD STL. STEEL STOR. STORAGE S.V. SHEET VINYL FLOORING ##T NUMBER OF STAIR TREADS T&amp;B TOP AND BOTTOM T&amp;G TONGUE AND GROOVE T.B. TOP OF BEAM TBM TRAFFIC BEARING MEMBRANE T.O.A. TOP OF COLUMN T.O.CMU TOP OF CMU T.O.F. TOP OF FOOTING T.O.L. TOP OF LEDGE T.O.P. TOP OF PIER T.O.W. TOP OF WALL THRU. THROUGH TWF THROUGH WALL FLASHING TYP. TYPICAL UNEXC. UNEXCAVATED U.N.O. UNLESS NOTED OTHERWISE VB## VANITY BASE CABINET VCT VINYL COMPOSITION TILE VERT. VERTICAL VVC VINYL WALL COVERING W WASHER W## WALL CABINET WCC## WALL CORNER CABINET W/ WITH WD. WOOD W/D STACKED WASHER / DRYER W.H. WATER HEATER W/O WITHOUT WP WATERPROOF WT WEIGHT W.W.F. WIRE WELDED FABRIC</p>	<p>PROJECT: #1815 LODGC ADDRESS: 2801 MARSHALL COURT, VILLAGE OF SHOREWOOD HILLS, WI WORK DESCRIPTION: 2-STORY MIXED USE BUILDING W/ 2 LEVELS OF UNDERGROUND PARKING</p> <p><u>APPLICABLE CODES &amp; STANDARDS:</u> SPS 361-366 WISCONSIN COMMERCIAL BUILDING CODE INTERNATIONAL BUILDING CODE (IBC) 2015 ICC/ANSI A117.1-2009</p> <p><u>BUILDING SUMMARY:</u> 2 STORY, VB CONSTRUCTION ENTIRE BUILDING SPRINKLERED PER NFPA 13 PARKING LEVEL 1&amp;2, GARAGE GROUP S-2 (SEPARATED USE) LEVEL 1 COMMERCIAL: GROUP A-2/B/1-4 (NON-SEPARATED USE) LEVEL 2 COMMERCIAL: GROUP B (NON-SEPARATED USE)</p> <p><u>BUILDING HEIGHT &amp; AREAS:</u> ALLOWABLE HEIGHT (VB NO INCREASE TAKEN): 2 STORIES BUILDING HEIGHT: 2 STORIES A-2 (MOST RESTRICTIVE) ALLOWABLE AREA (VB): 18,000</p> <p>FLOOR AREAS: PARKING LEVEL 1 (S-2): 13,498 SF PARKING LEVEL 2 (S-2): 13,535 SF 1ST FLOOR (A-2/B/1-4): 11,271 SF 1ST FLOOR COVERED OUTDOOR AREAS: 341 SF 2ND FLOOR (B): 11,271 SF 2ND FLOOR COVERED OUTDOOR AREAS: 536 SF</p> <p>TOTAL AREA: 50,452 SF</p> <p><u>FIRE RATINGS:</u> (VB CONSTRUCTION) STRUCTURAL FRAME: 0 HR BEARING WALLS: 0 HR EXTERIOR BEARING WALLS: 0 HR [601] EXTERIOR WALLS: 0 HR [602]</p> <p>FLOOR CONSTRUCTION: 0 HR ROOF CONSTRUCTION: 0 HR STAIR ENCLOSURES: 2 HR ELEVATOR SHAFT: 2 HR CORRIDOR WALLS: 0 HR</p> <p><u>FIRE PROTECTION SYSTEMS:</u> NFPA 13 SPRINKLER SYSTEM THROUGHOUT MANUAL FIRE ALARM REQUIRED THROUGHOUT</p> <p><u>ACCESSIBILITY:</u> FACILITY TO BE ACCESSIBLE IN ACCORDANCE WITH ICC/ANSI A117.1 AND WITH THE CHANGES, ADDITION, OR OMISSIONS TO THE ICC/ANSI A117.1 REQUIREMENTS SPECIFIED IN COMM 362.1100</p> <p>60% OF ALL PUBLIC ENTRANCES TO BE ACCESSIBLE</p> <p>3 ACCESSIBLE PARKING STALLS REQUIRED 1 OF WHICH TO BE VAN STALL</p>	<p><u>ARCHITECT</u> KNOTHE &amp; BRUCE ARCHITECTS, LLC 7601 UNIVERSITY AVENUE, SUITE 201 MIDDLETON, WI 53562 CONTACT: DUANE JOHNSON PHONE: (608) 836-3690 EMAIL: DJOHNSON@KNOTHEBRUCE.COM</p> <p><u>DEVELOPER</u> MARSHALL COURT INVESTORS, LLC 1010 E WASHINGTON AVE. MADISON, WI 53703 CONTACT: RICH ARNESEN PHONE: (608) 251 6000 EMAIL: RARNENSEN@STONEHOUSEDEVELOPMENT.COM</p> <p><u>GENERAL CONTRACTOR</u> IDEAL BUILDERS, INC. 1406 EMIL STREET MADISON, WI 53713 CONTACT: JEFF DUESTERBECK PHONE: (608) 271 8111 EMAIL: JDUESTERBECK@IDEALBUILDERSINC.COM</p> <p><u>STRUCTURAL ENGINEER</u> ECHELON STRUCTURES, LLC 3530 TIMBER LN CROSS PLAINS, WI 53528 CONTACT: TOM BOEHNEN JR PHONE: (608) 206 0521 EMAIL: TBOEHNEN@ECHELONSTRUCTURES.COM</p> <p><u>CIVIL ENGINEER</u> VIERBICHER ASSOCIATES, INC. 999 FOURIER DRIVE, SUITE 201 MADISON, WI 53717 CONTACT: JOE DOYLE PHONE: (608) 826 0532 EMAIL: JDOYLE@VIERBICHER.COM</p> <p><u>LANDSCAPE DESIGNER</u> THE BRUCE COMPANY 2830 PARMENTER ST. MIDDLETON, WI 53562 CONTACT: RICH STROHMENGER PHONE: (608) 410 2284 EMAIL: RSTROHMENGER@BRUCECOMPANY.COM</p> <p><u>INTERIOR DESIGNER:</u> BHDMD DESIGN LAS ANGELES, CA CONTACT: SABRINA ALIAS PHONE: (212) 564 6400 X 108 EMAIL: SABRINA@BHDMDDESIGN.COM</p>	<p>T-1.1 TITLE SHEET <u>ARCHITECTURAL</u></p> <p><u>SITE</u></p> <p>A-1.P2 PARKING LEVEL TWO A-1.P1 PARKING LEVEL ONE</p> <p>C-0.1 EXISTING CONDITIONS PLAN C-1.0 DEMOLITION PLAN C-1.1 SITE PLAN C-1.2 SITE LIGHTING PLAN</p> <p>C-2.0 EROSION CONTROL PLAN C-3.0 GRADING PLAN C-4.0 UTILITY PLAN C-5.0 SITE CONSTRUCTION DETAILS C-5.1 SITE CONSTRUCTION DETAILS</p> <p>L-1.1 LANDSCAPE PLAN</p> <p><u>STRUCTURAL</u></p> <p>S-0 STRUCTURAL NOTES S-0.1 STRUCTURAL NOTES</p> <p>S-1.0.1 FOUNDATION PLAN - P2 S-1.0.2 PARKING FRAMING PLAN - P1</p> <p>S-1.1 FIRST FLOOR FRAMING PLAN S-1.2 SECOND FLOOR FRAMING PLAN S-1.3 ROOF FRAMING PLAN S-1.4 ROOF SCREEN PLAN</p> <p>S-3.1 FOUNDATION DETAILS S-3.2 FOUNDATION DETAILS S-3.3 FOUNDATION DETAILS S-3.4 PRECAST DETAILS</p> <p>S-4.1 MASONRY DETAILS</p> <p>S-5.1 FRAMING DETAILS S-5.2 FRAMING DETAILS S-5.3 RAMP ELEVATION</p> <p>A-1.1A FIRST FLOOR PLAN A-1.1B FIRST FLOOR EXAMPLE TENANT PLAN A-1.2A SECOND FLOOR PLAN A-1.2B SECOND FLOOR EXAMPLE TENANT PLAN A-1.3 ROOF PLAN</p> <p>A-2.1 EXTERIOR ELEVATIONS A-2.2 EXTERIOR ELEVATIONS</p> <p>A-3.1 BUILDING SECTIONS A-3.2 BUILDING SECTIONS A-3.3 BUILDING SECTIONS A-3.4 BUILDING SECTIONS A-3.5 BUILDING SECTIONS</p> <p>A-4.1 WALL TYPES &amp; GENERAL NOTES A-4.2 DETAILS A-4.3 DETAILS A-4.4 DETAILS A-4.5 DETAILS A-4.6 DETAILS A-4.7 DETAILS</p> <p>A-5.1 ENLARGED STAIR PLANS</p> <p>A-6.1 DOOR SCHEDULE A-6.2 WINDOW SCHEDULE</p> <p>A-7.1 ACCESSIBILITY REQUIREMENTS</p> <p>A-8.P1 PARKING LEVEL 1 CEILING PLAN</p>
		<p>VICINITY MAP</p>		

ISSUED  
Issued - September 14, 2018

PROJECT TITLE  
**LODGC**

2801 Marshall Ct.  
Shorewood Hills, WI

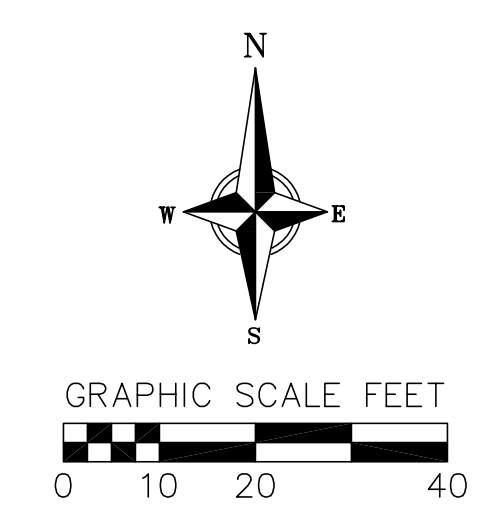
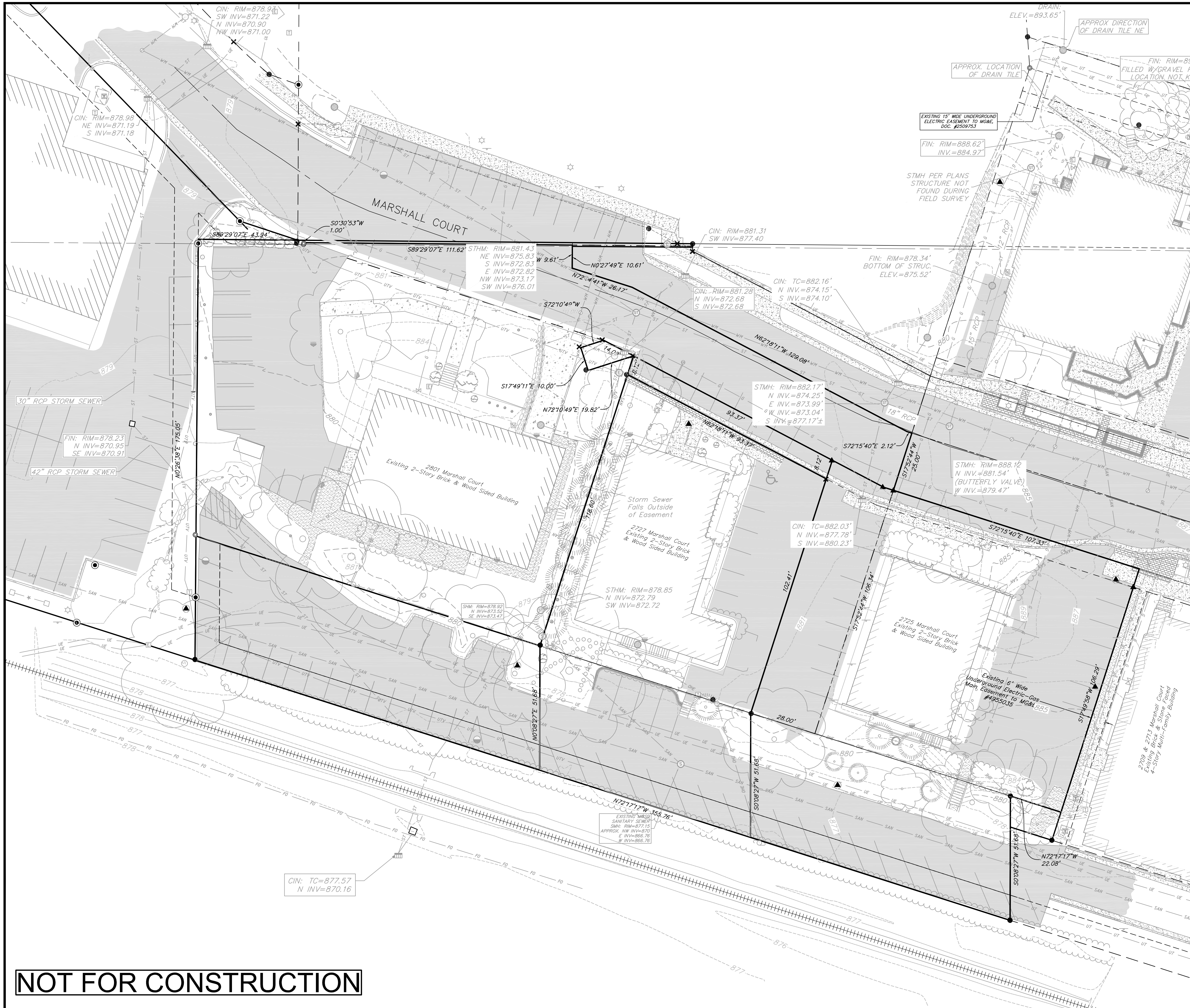
SHEET TITLE  
**TITLE SHEET**

SHEET NUMBER

**T-1.1**

PROJECT NUMBER **1815**

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**TOPOGRAPHIC SYMBOL LEGEND**

- EXISTING BOLLARD
- EXISTING POST
- ▽ EXISTING SIGN
- ▣ EXISTING CURB INLET
- ⊙ EXISTING FIELD INLET
- ⊕ EXISTING STORM MANHOLE
- ⊗ EXISTING SANITARY MANHOLE
- ⋄ ROOF DOWNSPOUT
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING STANDPIPE
- ⊕ EXISTING WATER MAIN VALVE
- ⊕ EXISTING CURB STOP
- ⊕ EXISTING GAS VALVE
- ⊕ EXISTING AIR CONDITIONING PEDESTAL
- ⊕ EXISTING DOWN GUY
- ⊕ EXISTING ELECTRIC MANHOLE
- ⊕ EXISTING ELECTRIC PEDESTAL
- ⊕ EXISTING TRANSFORMER
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING GENERIC LIGHT
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING TV PEDESTAL
- ⊕ EXISTING TELEPHONE MANHOLE
- ⊕ EXISTING TELEPHONE PEDESTAL
- ⊕ EXISTING HANDICAP PARKING
- ⊕ EXISTING DECIDUOUS TREE
- ▨ ASPHALT PAVEMENT/DRIVEWAY PARKING LOT
- ▨ CONCRETE PAVEMENT/WALK
- ▨ BRICK PAVERS
- ▨ GRAVEL PATH

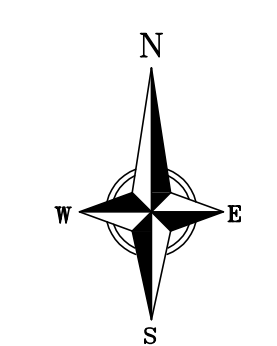
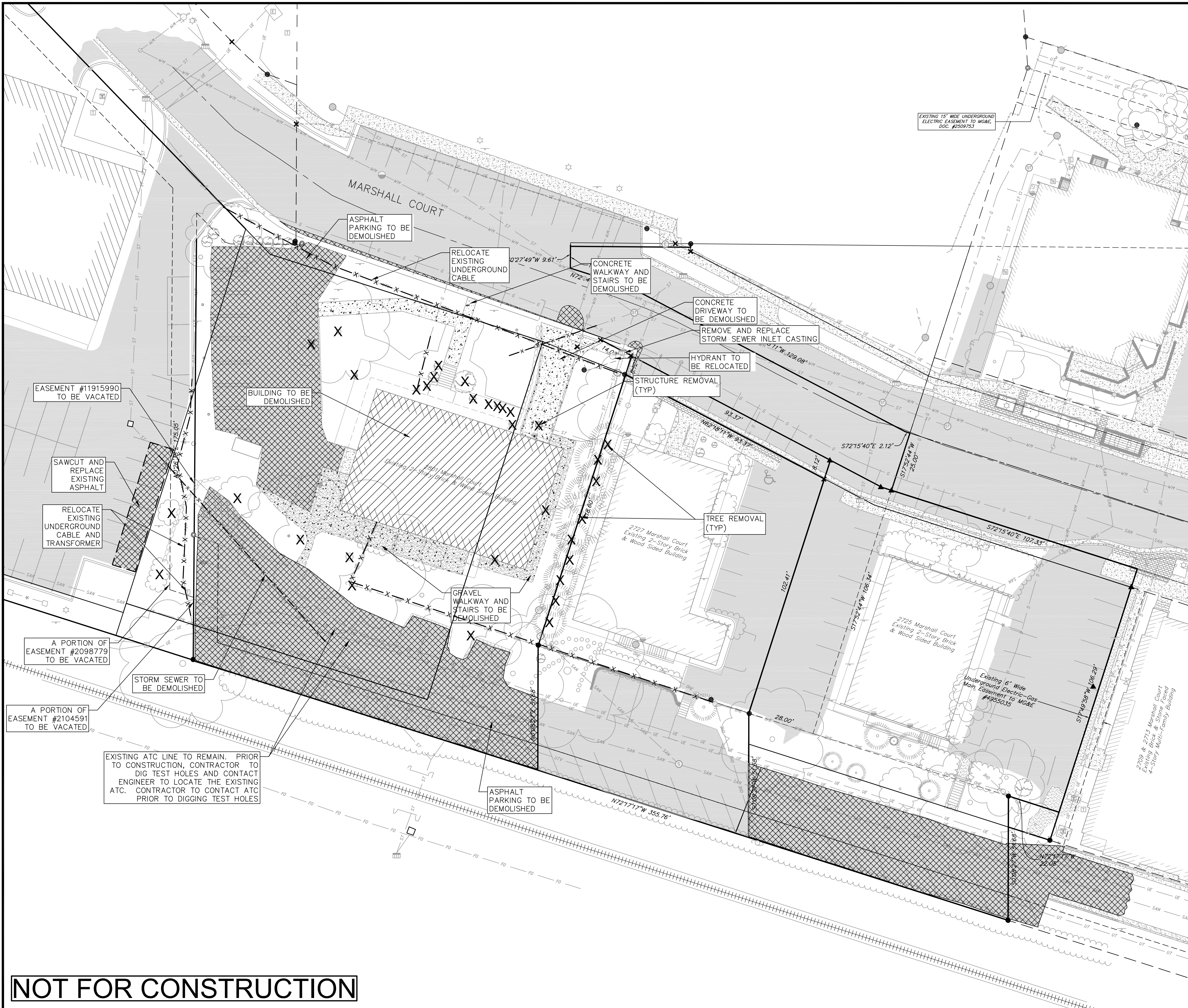
- NOTES:**
- THIS SURVEY WAS PREPARED BASED UPON INFORMATION PROVIDED IN THE SUBDIVISION APPROVAL REPORT 30/60 TITLE SEARCH NO. NCS-745776-MAD, DATED AUGUST 04 09, 2015 AT 7:00A.M., FROM FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES, 10 W. MIFFLIN STREET, SUITE 302, MADISON, WI 53703.
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  - UTILITY LOCATIONS WERE FIELD LOCATED BASED UPON SUBSTANTIAL, VISIBLE, ABOVE GROUND STRUCTURES, UPON MAPS PROVIDED TO THE SURVEYOR, OR UPON MARKINGS ON THE GROUND PLACED BY UTILITY COMPANIES AND/OR THEIR AGENTS. NO WARRANTY IS GIVEN TO THE UTILITY MARKINGS BY OTHERS OR THAT ALL UNDERGROUND UTILITIES AFFECTING THIS PROPERTY WERE MARKED AND SUBSEQUENTLY LOCATED FOR THIS SURVEY. THE SIZE OF WATER MAIN AND SANITARY SEWER HAS BEEN NOTED PER MAPS PROVIDED TO THE SURVEYOR.
  - NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING CONDITION, OR CAPACITY OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES CONTACT THE APPROPRIATE AGENCIES.
  - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OWNERSHIP TITLE EVIDENCE.
  - CONTOURS AND ELEVATIONS DEPICTED HEREON ARE BASED UPON THE NAVD88 DATUM.

**vierbicher**  
planners | engineers | advisors  
Phone: (800) 261-3898

**Existing Conditions Plan**  
The Lodge  
Village of Shorewood Hills  
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	7/2/18	1	7/2/18
2	7/5/18	2	7/5/18
3	9/14/18	3	9/14/18

SCALE AS SHOWN
DATE 05/23/2018
DRAFTER JARC
CHECKED JDOY
PROJECT NO. #150190
SHEET 1 OF 7
DWG. NO. C-0.1



**DEMOLITION PLAN LEGEND**

	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	TREE REMOVAL
	TREE PROTECTION
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL
	PROPERTY BOUNDARY

- GENERAL NOTES:**
1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
  2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
  3. ALL CURB AND GUTTER TO BE FULLY REMOVED SHALL HAVE A FULL DEPTH SAWCUT AT THE NEAREST JOINT.
  4. CONTRACTOR SHALL REMOVE AND REPLACE ANY PUBLIC IMPROVEMENTS THAT ARE DAMAGED DURING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE

**NOT FOR CONSTRUCTION**

**Demolition Plan**  
The Lodge at Shorewood Hills  
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	6/4/18	1	7/31/18
2	7/2/18	2	9/14/18
3	7/25/18	3	Initial Pricing Set

REMARKS: Village Resubmittal, Bid Set

SCALE: AS SHOWN

DATE: 05/23/2018

DRAFTER: JARC

CHECKED: JDOY

PROJECT NO.: #150190

SHEET: 2 OF 7

DWG. NO.: C-1.0

ISSUED

Issued for SDP - May 23, 2018  
Re-Issued for GDP - SDP - June 04, 2018  
Re-Issued for GDP - SDP - July 02, 2018  
PROGRESS SET - JULY 25, 2018  
Issued for SDP - July 30, 2018  
Issued - September 14, 2018

PROJECT TITLE

Lodgic

2801 Marshall Court  
Shorewood Hills, WI

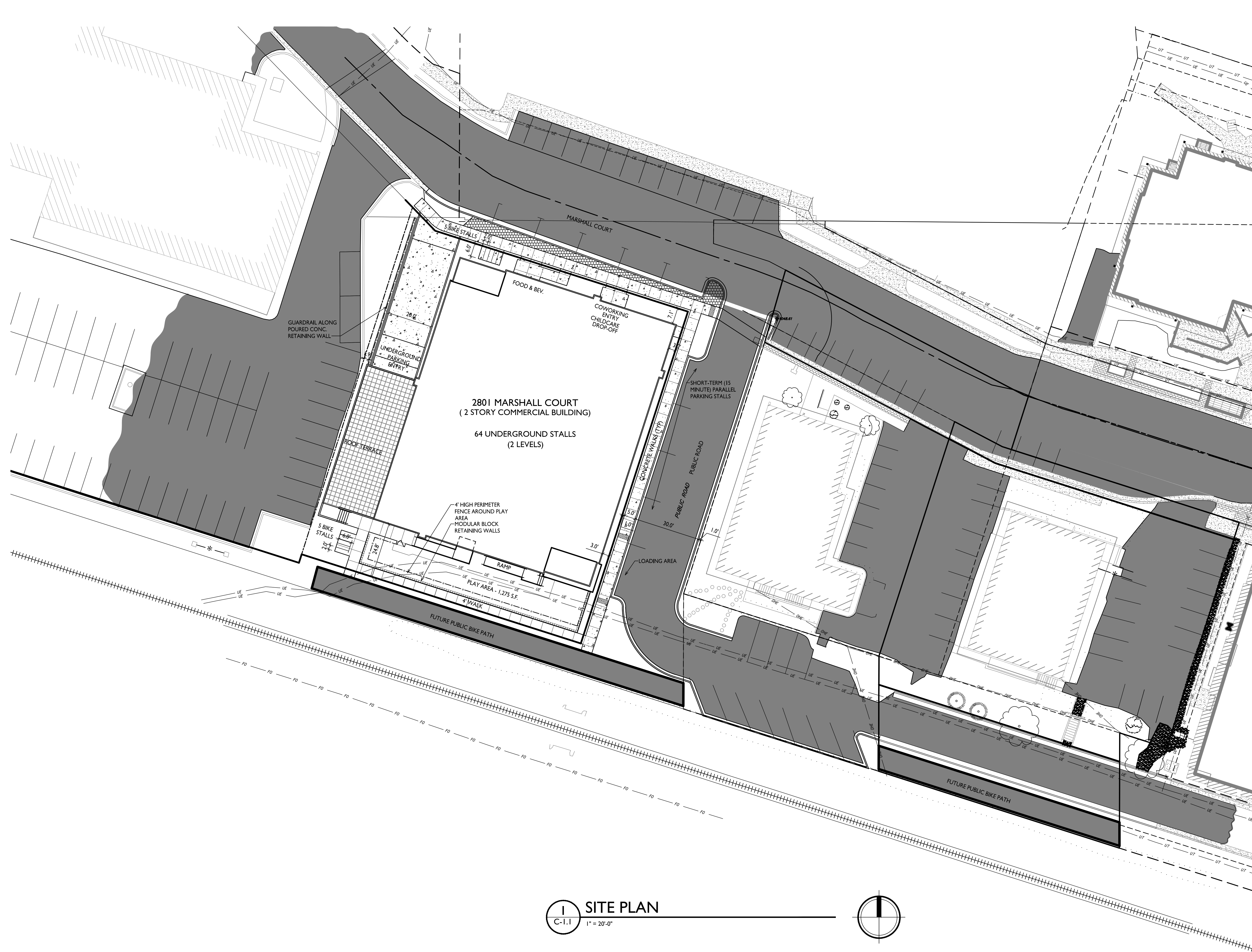
SHEET TITLE  
Site Plan

SHEET NUMBER

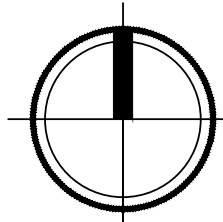
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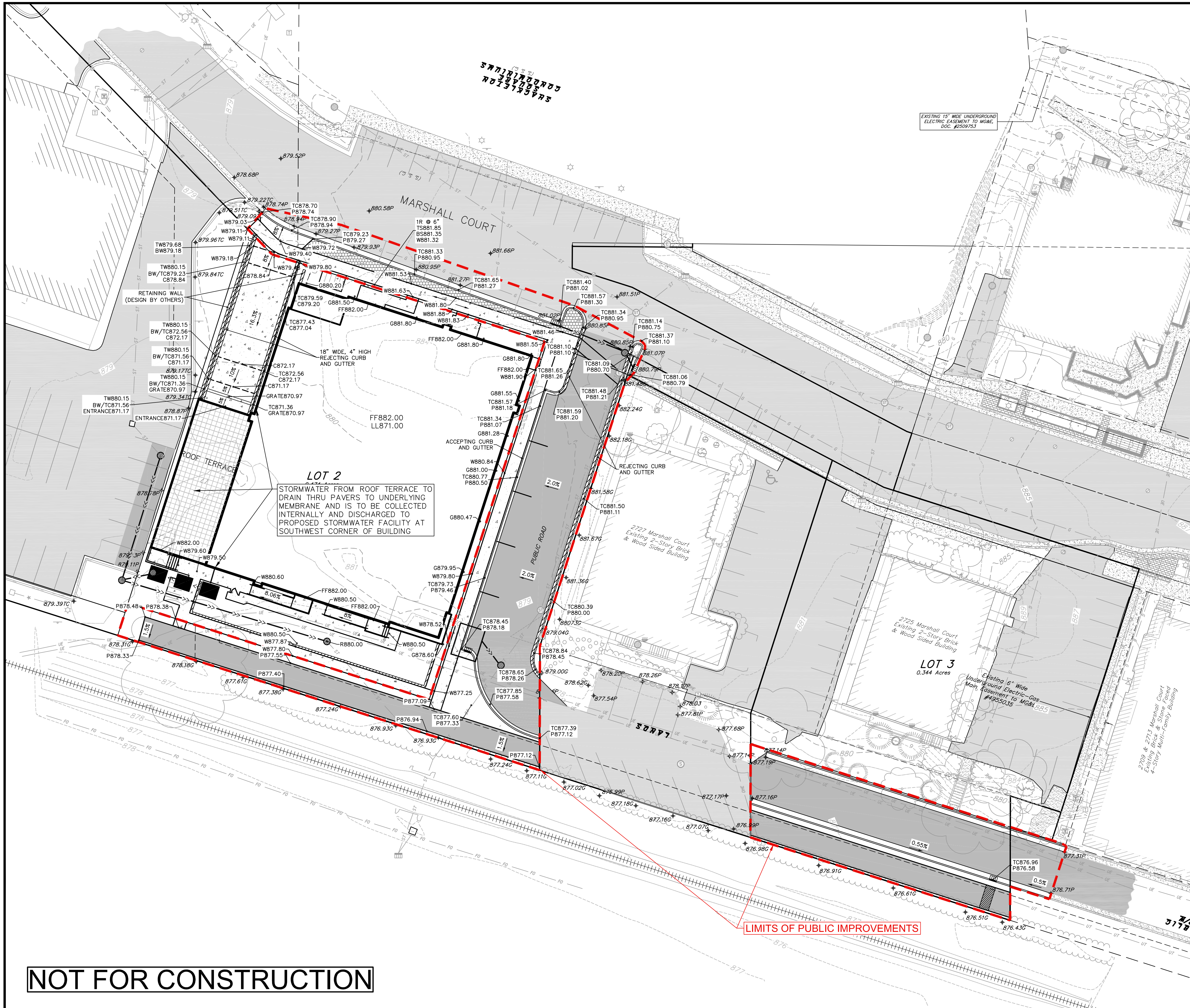
PROJECT NO. 1815

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**1** SITE PLAN  
C-1.1 1" = 20'-0"





- UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE DESIGN ELEVATIONS. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
- RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- DIMENSIONS RELATING TO CURB ARE TO BACK OF CURB.
- FINAL GRADES SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.

**GRADING LEGEND**

- 820 - EXISTING MAJOR CONTOURS
- 818 - EXISTING MINOR CONTOURS
- (820) - PROPOSED MAJOR CONTOURS
- (818) - PROPOSED MINOR CONTOURS
- 2.92% - PROPOSED SLOPE ARROWS
- +1048.61 - EXISTING SPOT ELEVATIONS
- 1048.61 - PROPOSED SPOT ELEVATIONS

**ABBREVIATIONS**

- P - EDGE PAVEMENT
- TC - TOP OF CURB
- FF - FINISHED FLOOR
- FL - FLOW LINE
- C - GROUND
- W - TOP OF WALK
- T - TOP OF TOPPING
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- BS - BOTTOM OF STAIR
- R - STAIR RISER

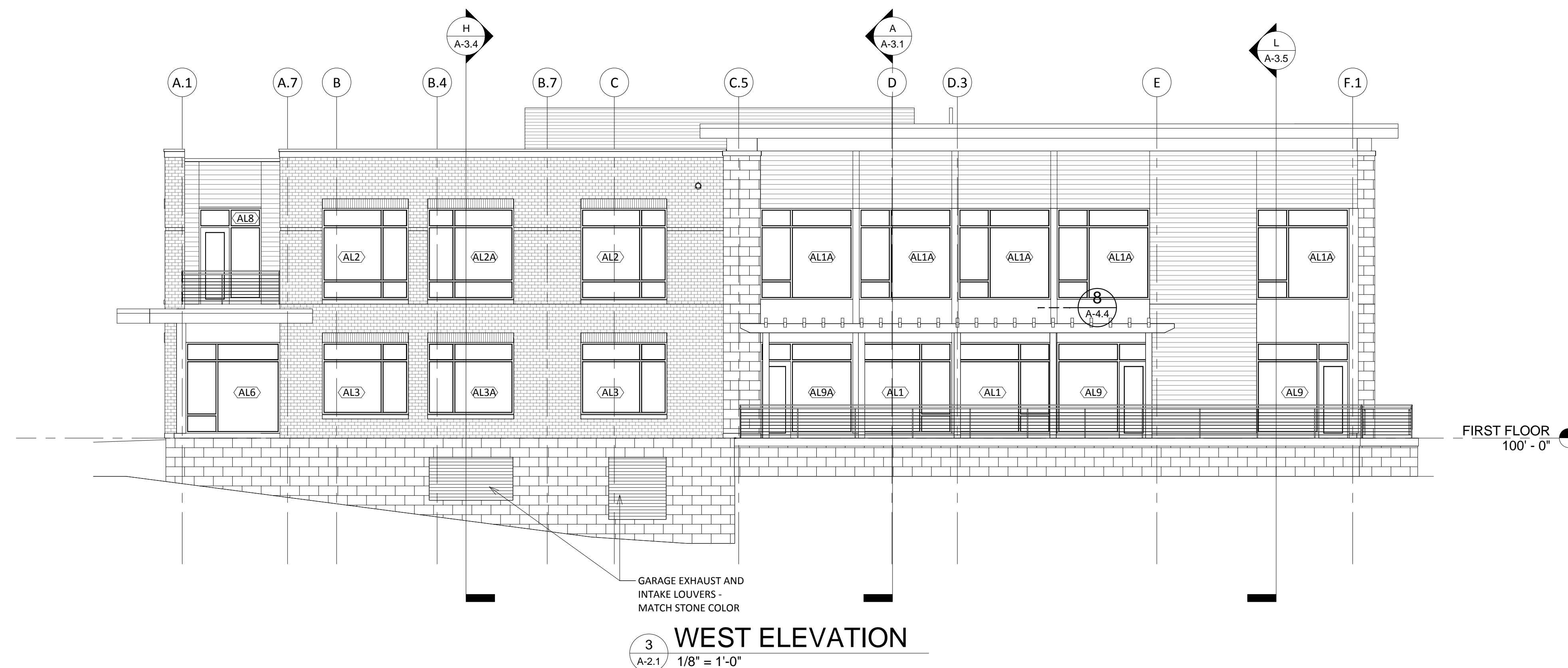
**NOT FOR CONSTRUCTION**

**Grading Plan**  
The Lodge  
Village of Shorewood Hills  
Dane County, Wisconsin

REVISIONS		NO.	DATE	REMARKS
△	6/4/18	1	6/23/18	CDP SUBMITTAL
△	7/2/18	2	7/23/18	Village Resubmittal
△	7/25/18	3	9/14/18	Initial Pricing Set
△		4		Bid Set

SCALE: AS SHOWN  
DATE: 05/23/2018  
DRAFTER: JARC  
CHECKED: JDOY  
PROJECT NO.: #150190  
SHEET: 4 OF 7  
DWG. NO.: C-3.0

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
MASONRY VENEER 1	BRICK VENEER	INTERSTATE BRICK - EBONY COLOR - UTILITY SIZE
MORTAR AT VENEER 1	-	SOLOMON 80X LT CHOCOLATE
MASONRY VENEER 2	CAST STONE VENEER	READING ROCK PRAIRIE STONE - GRIS
MORTAR AT VENEER 2	-	SOLOMON - TO MATCH PRAIRIE STONE GRIS
FIBER CEMENT PANEL 1	FIBER CEMENT	NICHIHA VINTAGE WOOD REDWOOD
WINDOWS	ALUMINUM STOREFRONT	CLEAR ANODIZED
METAL FASCIA	PREFINISHED KYNAR	PAC CLAD ZINC
ROOF TOP SCREENING	PREFINISHED KYNAR	PAC CLAD ZINC
METAL COMPOSITE MATERIAL	ALPOLIC	MICA MNC
RAILINGS	-	SILVER



ISSUED  
Issued - September 14, 2018

PROJECT TITLE  
**LOGDIC**

2801 Marshall Ct.  
Shorewood Hills,  
WI

SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

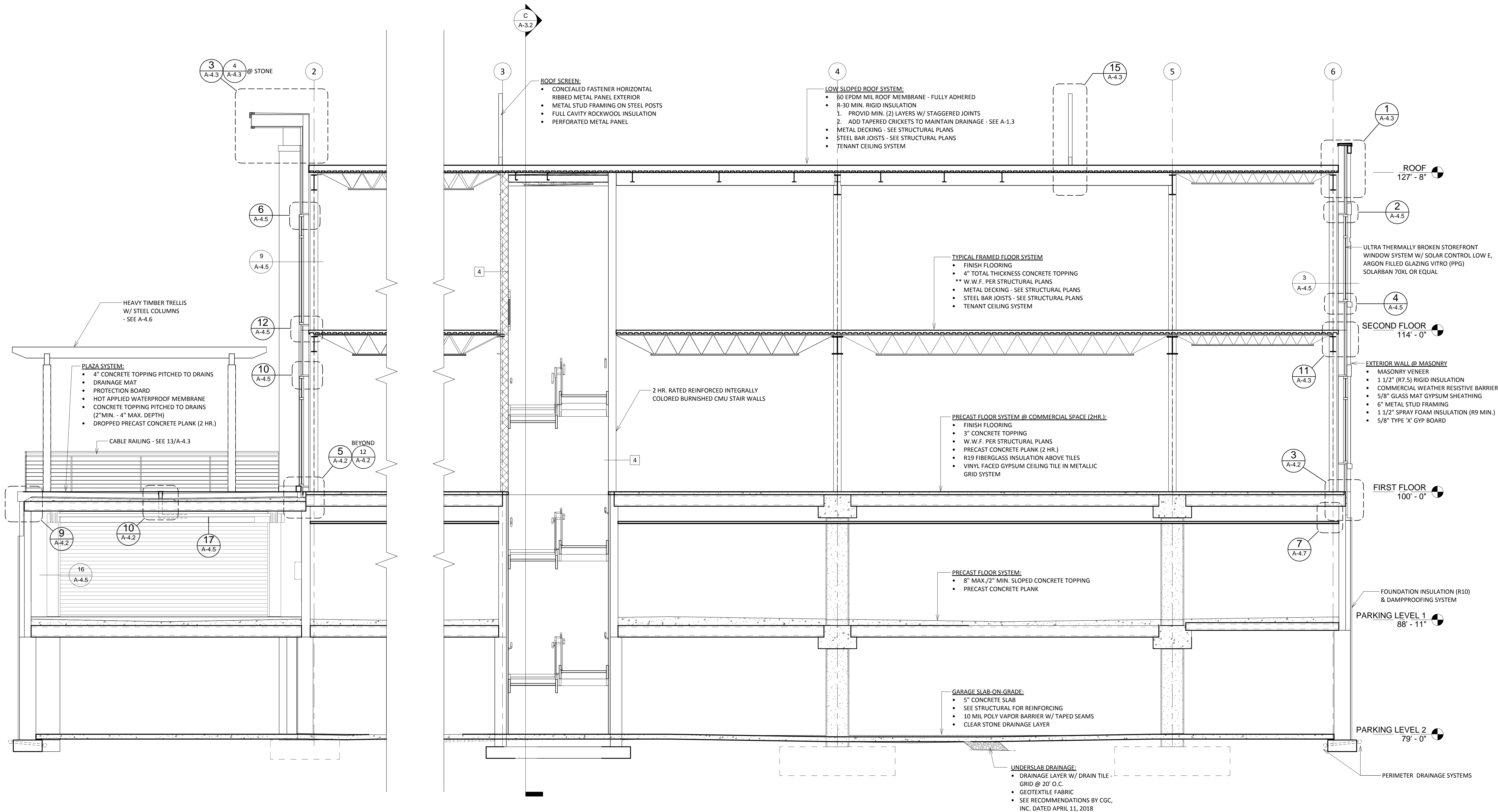
SHEET NUMBER

**A-2.1**

PROJECT NUMBER **1815**

© 2015 Knothe & Bruce Architects, LLC





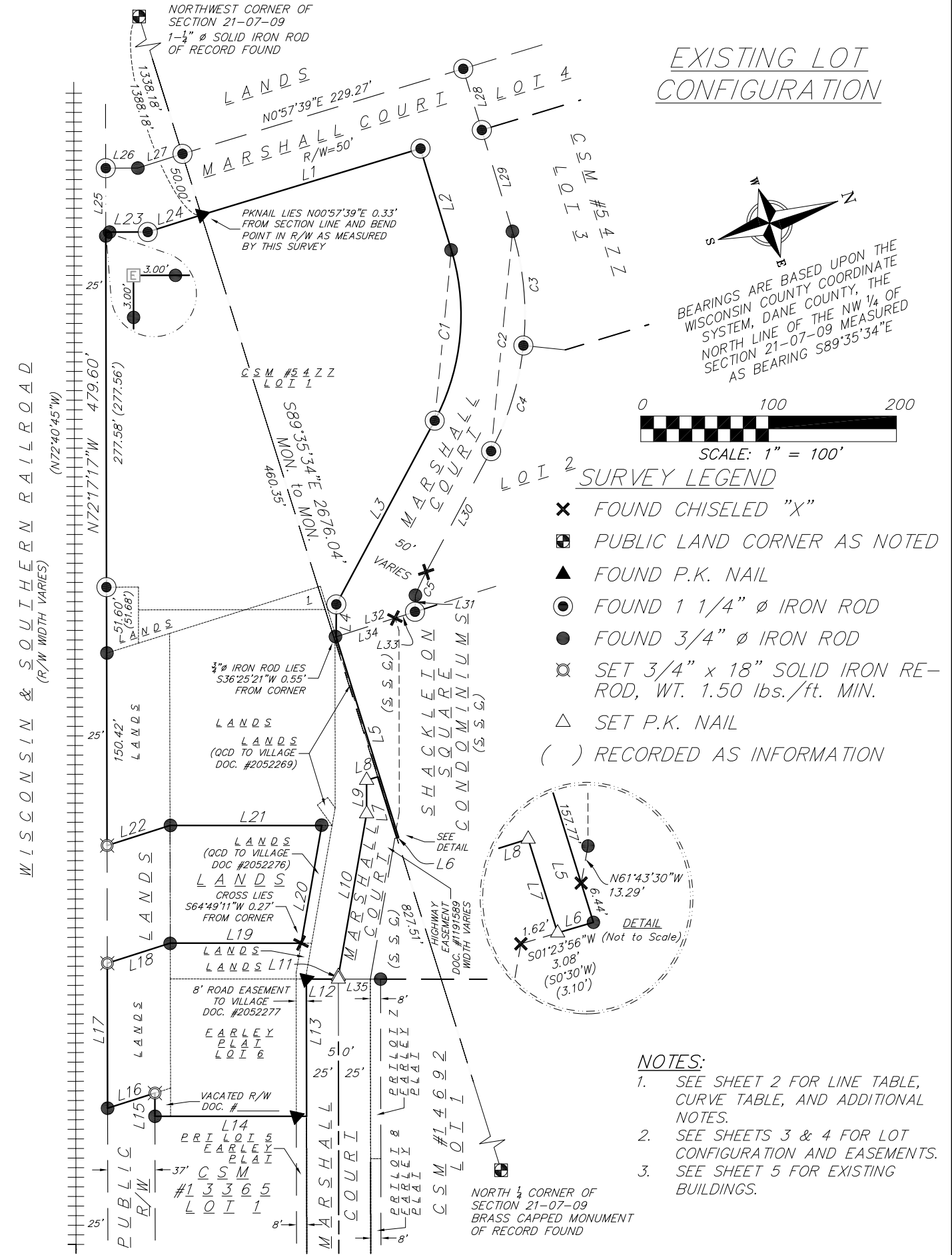
**A BUILDING SECTION**  
A-3.1 1/4" = 1'-0"

## Appendix B

CSM for Revised Property Boundaries  
(Unrecorded as of October 15, 2018;  
not all new easements are finalized)

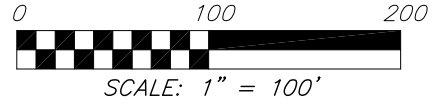
# CERTIFIED SURVEY MAP No.

LOT 1, CERTIFIED SURVEY MAP NUMBER 5477, AS RECORDED IN VOLUME 25 OF CERTIFIED SURVEY MAPS, ON PAGES 43-44, AS DOCUMENT NUMBER 2067153, DANE COUNTY REGISTRY, ALSO LOT 6 FARLEY PLAT, AS RECORDED IN VOLUME 17 OF PLATS, ON PAGE 28, AS DOCUMENT NUMBER 894244, DANE COUNTY REGISTRY, ALSO PART OF THE SE $\frac{1}{4}$ -SW $\frac{1}{4}$  OF SECTION 16, ALSO PART OF THE NE $\frac{1}{4}$ -NW $\frac{1}{4}$  OF SECTION 21, ALL IN TOWNSHIP 07 NORTH, RANGE 09 EAST, VILLAGE OF SHOREWOOD HILLS, DANE COUNTY, WISCONSIN

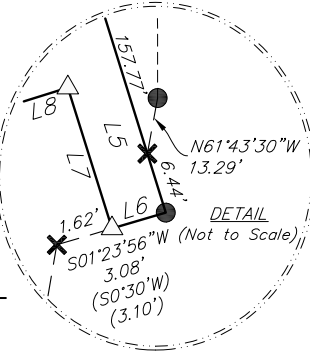


EXISTING LOT CONFIGURATION

BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE NORTH LINE OF THE NW $\frac{1}{4}$  OF SECTION 21-07-09 MEASURED AS BEARING S89°35'34\"/>



- SURVEY LEGEND**
- ✕ FOUND CHISELED "X"
  - PUBLIC LAND CORNER AS NOTED
  - ▲ FOUND P.K. NAIL
  - ⊙ FOUND 1 1/4" Ø IRON ROD
  - FOUND 3/4" Ø IRON ROD
  - ⊗ SET 3/4" x 18" SOLID IRON RE-ROD, WT. 1.50 lbs./ft. MIN.
  - △ SET P.K. NAIL
  - ( ) RECORDED AS INFORMATION



- NOTES:**
1. SEE SHEET 2 FOR LINE TABLE, CURVE TABLE, AND ADDITIONAL NOTES.
  2. SEE SHEETS 3 & 4 FOR LOT CONFIGURATION AND EASEMENTS.
  3. SEE SHEET 5 FOR EXISTING BUILDINGS.

<p>planners   engineers   advisors</p> <p>Phone: (800) 261-3898</p>	<p>FN: 150191 DATE: 07/10/2018</p> <p>REV:</p> <p>Drafted By: MMAR</p> <p>Checked By: PKNU</p>	<p>SURVEYED FOR:</p> <p>Marshall Court Investors, LLC 625 N. Segoe Road, Suite 107 Madison, WI 53705</p>	<p>C.S.M. No. _____</p> <p>Doc. No. _____</p> <p>Vol. _____ Page _____</p>
	<p><b>SHEET</b></p> <p><b>1 OF 9</b></p>		

# CERTIFIED SURVEY MAP No. \_\_\_\_\_

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LINE TABLE			LINE TABLE		
LINE NUMBER	DIRECTION	LENGTH	LINE NUMBER	DIRECTION	LENGTH
L1	N00°57'39"E (N00°32'11"E)	178.99' (178.91')	L19	N17°52'44"E (N17°47'E)	102.41'
L2	S89°05'53"E (S89°27'49"E)	82.93' (83.00')	L20	N62°18'11"W (N62°16'W)	93.37'
L3	S44°00'38"E (S44°27'49"E)	162.98'	L21	S17°52'44"W (S17°47'W)	118.60'
L4	S71°45'03"E (S72°12'14"E)	25.31' (25.22')	L22	S00°08'27"W (S00°07°01"W)	51.68' (51.88')
L5	S89°29'07"E (S89°30'E)	164.21' (164.60')	L23	N17°42'43"E (N17°19'15"E)	32.81' (32.73')
L6	S01°23'56"W (S00°30'W)	1.46'	L24	N00°11'41"E (N00°15'48"W)	43.97' (44.20')
L7	N89°35'34"W (N89°30'W)	49.98'	L25	N72°17'17"W (N72°40'45"W)	50.00'
L8	S00°27'49"W (S00°30'W)	9.06'	L26	N17°42'43"E (N17°19'15"E)	25.11' (25.00')
L9	S72°14'41"E (S72°13'E)	26.17' (26.18')	L27	N00°11'41"E (N00°15'48"W)	36.60' (36.82')
L10	S62°18'11"E (S62°16'E)	129.08'	L28	S89°05'53"E (S89°27'79"E)	50.05' (50.00')
L11	S72°15'40"E (S72°13'W)	2.12' (2.18')	L29	S89°05'53"E (S89°27'79"E)	82.82' (83.00')
L12	S17°52'44"W (S17°47'W)	25.00'	L30	S44°00'38"E (S44°27'49"E)	107.55' (107.42')
L13	S72°15'40"E (S72°13'E)	107.33' (107.1')	L31	S70°26'54"E (S71°17'39"E)	12.87' (12.83')
L14	S17°49'58"W (S17°47'W)	118.56'	L32	S00°16'50"W (S00°09'38"E)	64.64' (64.73')
L15	N72°17'17"W	18.16'	L33	S00°16'50"W (S00°09'38"E)	16.25'
L16	S00°08'27"W	38.81'	L34	S00°16'50"W (S00°09'38"E)	48.39'
L17	N72°17'17"W (N72°41'10"W)	113.34'	L35	N17°52'44"E (S17°47'W)	33.00'
L18	N00°08'27"E (N00°07°01"W)	51.68' (51.88')			

**NOTES:**

1. Subject to Storm Sewer Easement recorded as Document #1191590.
2. Subject to Sanitary Sewer Easement Recorded as Document #1191591.
3. Subject to Reservations, Covenants, and Restrictions contained in Quit Claim Deed recorded as Document #2055762.
4. Subject to Easements and Agreements contained in Warranty Deed recorded as Document #2069281.
5. Subject to Reservations in Instrument recorded as Document #2068269.
6. Subject to Right-of-Way Grant Underground Electric-Electric Pole Line Easement to Madison Gas and Electric Company recorded as Document #2098779.
7. Subject to Notice Affecting Real Estate recorded as Document #2109270.
8. Subject to Agreement for License with Madison Metropolitan Sewerage District recorded as Document #984043 and Supplemental Agreement recorded as Document #984044.

CURVE TABLE					
CURVE NUMBER	ARC LENGTH	RADIUS	CENTRAL ANGLE	CHORD DIRECTION	CHORD LENGTH
C1	137.48' (137.45')	175.00'	45°00'39" (45°00'00")	S66°35'53"E (s66°57'49"E)	133.97' (133.94')
C2	176.80' (176.72')	225.00'	45°01'14" (45°00'00")	S66°35'36"E (s66°57'49"E)	172.28' (172.21')
C3	90.20' (90.04')	225.00'	22°58'12" (22°55'42")	S77°37'07"E (s77°59'58"E)	89.60' (89.44')
C4	86.59' (86.68')	225.00'	22°03'02" (22°04'18")	S55°06'29"E (s55°29'58"E)	86.06' (86.14')
C5	20.14' (20.15')	175.00'	6°35'39" (06°35'46")	S47°28'10"E (S7°45'42"E)	20.13' (20.14')

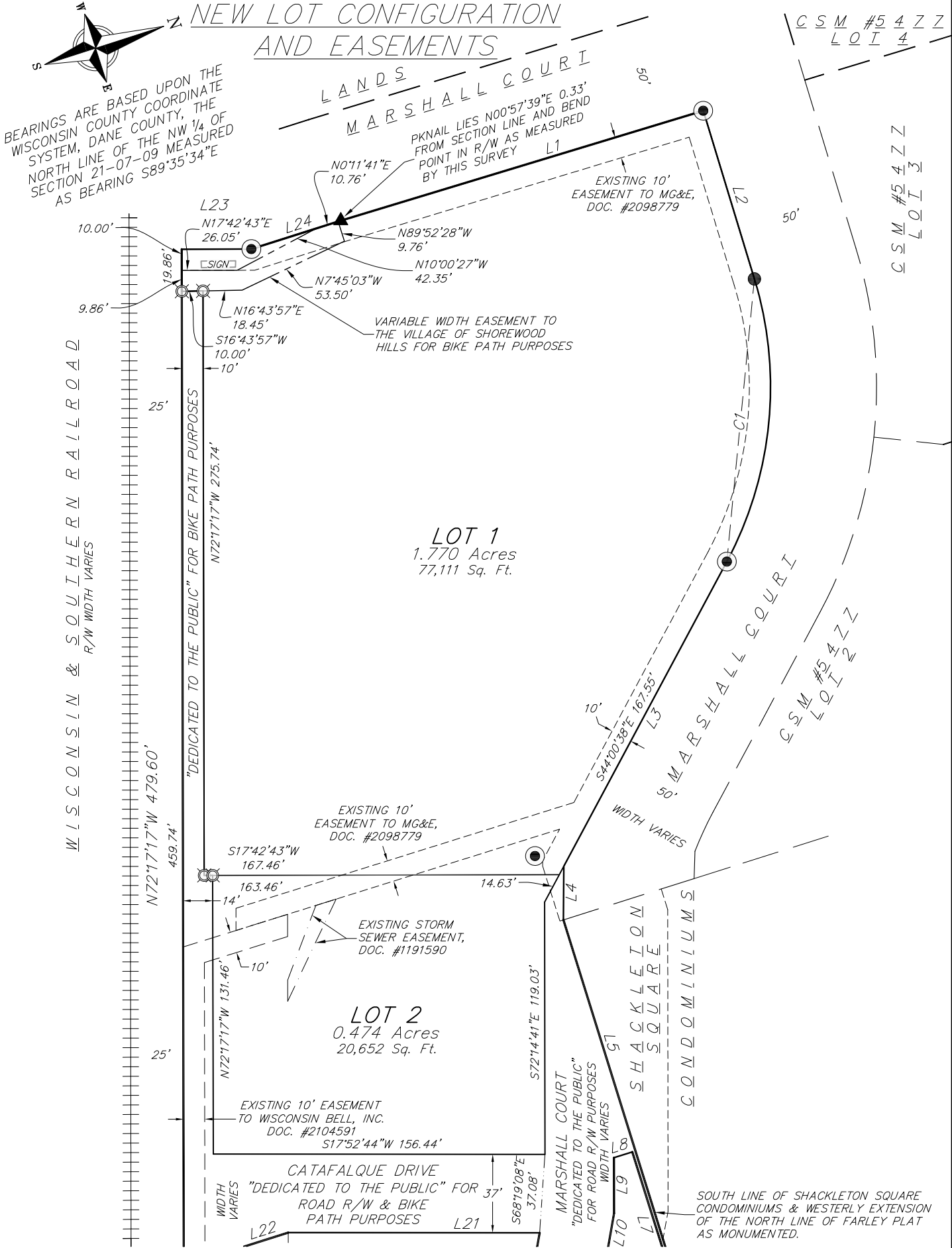
10 Jul 2018 - 4:11p M:\Stone House Development\150190\_Arbor Crossing Phase 2\CADD\150190\_CSM.dwg by: mmar

<p style="font-size: small;">planners   engineers   advisors</p> <p style="font-size: x-small;">Phone: (800) 261-3898</p>	FN: 150191 DATE: 07/10/2018 REV: Drafted By: MMAR Checked By: PKNU	SURVEYED FOR: Marshall Court Investors, LLC 625 N. Segoe Road, Suite 107 Madison, WI 53705	C.S.M. No. _____ Doc. No. _____ Vol. _____ Page _____	SHEET 2 OF 9
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# CERTIFIED SURVEY MAP No. \_\_\_\_\_

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## NEW LOT CONFIGURATION AND EASEMENTS

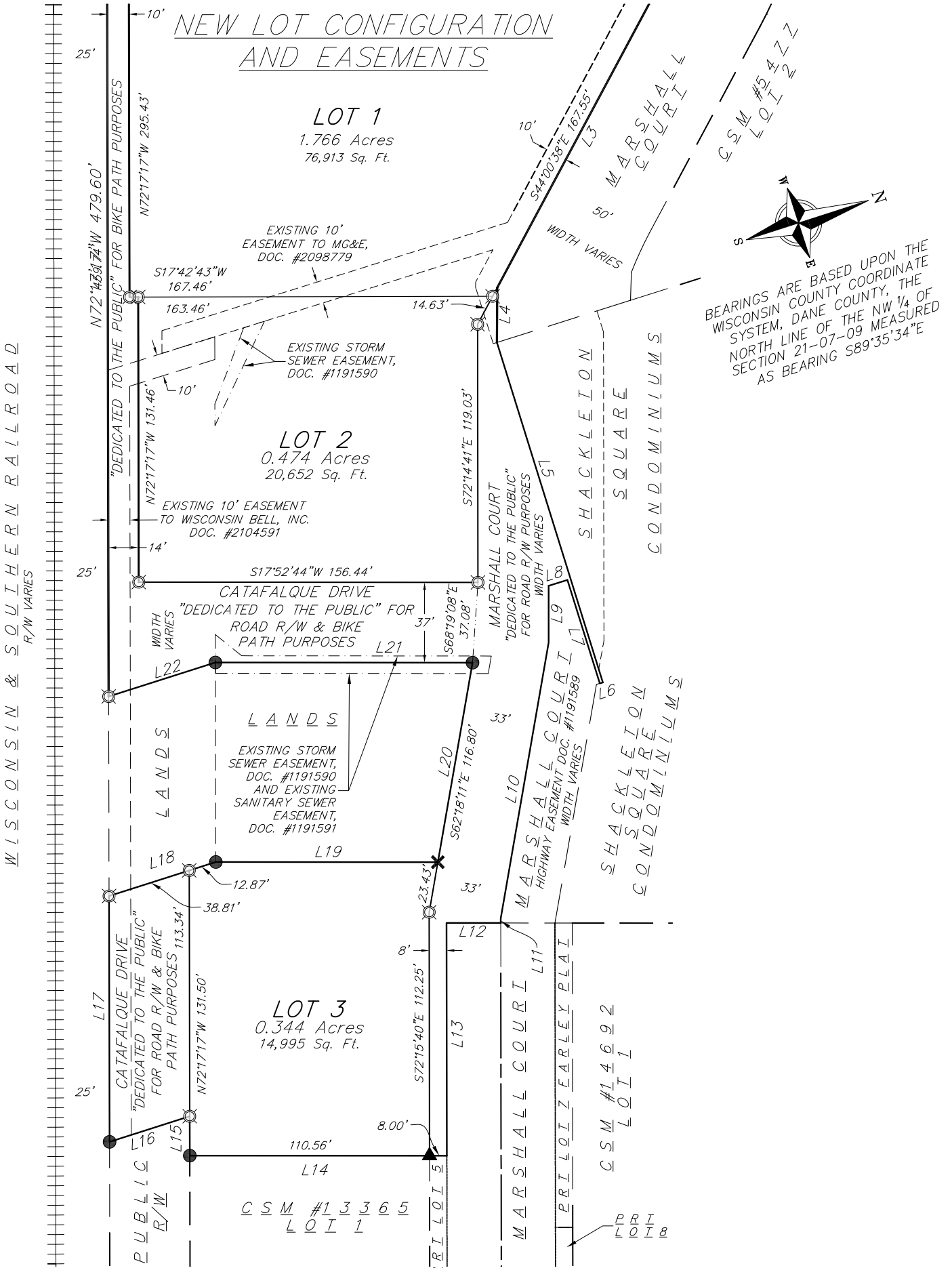


10 Jul 2018 - 4:11p M:\Stone House Development\150190\_Arbor Crossing Phase 2\CADD\150190\_CSM.dwg by: mmar

<p style="font-size: small;">planners   engineers   advisors</p> <p style="font-size: x-small;">Phone: (800) 261-3898</p>	FN: 150191 DATE: 07/10/2018 REV: Drafted By: MMAR Checked By: PKNU	SURVEYED FOR: Marshall Court Investors, LLC 625 N. Segoe Road, Suite 107 Madison, WI 53705	C.S.M. No. _____ Doc. No. _____ Vol. _____ Page _____
	SHEET		
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# CERTIFIED SURVEY MAP No. \_\_\_\_\_

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10 Jul 2018 - 4:11p M:\Stone House Development\150190\_Arbor Crossing Phase 2\CADD\150190\_CSM.dwg by: mmar

<p>planners   engineers   advisors</p> <p>Phone: (800) 261-3898</p>	<p>FN: 150191 DATE: 07/10/2018</p> <p>REV:</p> <p>Drafted By: MMAR</p> <p>Checked By: PKNU</p>	<p>SURVEYED FOR:</p> <p>Marshall Court Investors, LLC 625 N. Segoe Road, Suite 107 Madison, WI 53705</p>	<p>C.S.M. No. _____</p> <p>Doc. No. _____</p> <p>Vol. _____ Page _____</p>
	<p><b>SHEET</b></p> <p><b>4 OF 9</b></p>		



# **CERTIFIED SURVEY MAP No.**

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**LEGAL DESCRIPTION**

Lot 1 Certified Survey Map Number 5477, as recorded in Volume 25 of Certified Survey Maps, on Pages 43-44, as Document Number 2067153, Dane County Registry, also Lot 6 Farley Plat, as recorded in Volume 17 of Plats, on Page 28, as Document Number 894244, Dane County Registry, also part of the SE<sup>1</sup>/<sub>4</sub>-SW<sup>1</sup>/<sub>4</sub> of Section 16, also part of the NE <sup>1</sup>/<sub>4</sub> - NW <sup>1</sup>/<sub>4</sub> of Section 21, all in Township 07 North, Range 09 East, Village of Shorewood Hills, Dane County, Wisconsin, more fully described as follows:  
 Commencing at the Northwest corner of said Section 21; thence S89°35'34"E along the North line of the NW<sup>1</sup>/<sub>4</sub> of said Section 21, 1388.18 feet to a westerly line of said Lot 1 and the point of beginning; thence along the boundary of said Lot 1 for the next five (5) courses; 1-thence N00°57'39"E, 178.99 feet; 2-thence S89°05'53"E, 82.93 feet to a point of curvature; 3-thence 137.48 feet along the arc of a curve to the right, having a radius of 175.00 feet, a central angle of 45°00'39", and a chord bearing S66°35'53"E, 133.97 feet; 4-thence S44°00'38"E, 162.98 feet; 5-thence S71°45'03"E, 25.31 feet to the Southwest corner of the Amended Plat of "Shackleton Square", a Condominium, as recorded in Volume 4-33A of Condominium Plats, on Pages 406-412, as Document Number 1828246, Dane County Registry; thence S89°29'07"E along the southerly line of said Shackleton Square, 164.21 feet to a southerly corner thereof; thence S01°23'56"W along the southerly line of said Shackleton Square, 1.46 feet to a southerly line of lands Quit Claimed to the Village of Shorewood Hills by Document Number 2052269; thence N89°35'34"W along said southerly line, 49.98 feet; thence S00°27'49"W, 9.06 feet; thence S72°14'41"E, 26.17 feet; thence S62°18'11"E, 129.08 feet; thence S72°15'40"E, 2.12 feet to the West line of said Farley Plat; thence S17°52'44"W along said West line, 25.00 feet to the Northwest corner of said Lot 6, Farley Plat; thence S72°15'40"E along the North line of said Lot 6, 107.33 feet to the Northeast corner thereof; thence S17°49'58"W along the East line of said Lot 6 and its southerly extension thereof, 118.56 feet to a southwesterly corner of Certified Survey Map Number 13365, as recorded in Volume 86 of Certified Survey Maps, on Pages 269-274, as Document Number 4914123, Dane County Registry; thence N72°17'17"W, 18.16 feet to a southwesterly corner of said Certified Survey Map Number 13365; thence S00°08'27"W along a westerly line of said Certified Survey Map Number 13365, 38.81 feet to a southwesterly corner thereof and the northerly right-of-way line of the Wisconsin & Southern Railroad; thence N72°17'17"W along said northerly right-of-way line, 113.34 feet; thence N00°08'27"E, 51.68 feet; thence N17°52'44"E, 102.41 feet; thence N62°18'11"W, 93.37 feet; thence S17°52'44"W, 118.60 feet; thence S00°08'27"W, 51.68 feet to the said northerly right-of-way line of the Wisconsin & Southern Railroad; thence N72°17'17"W along said northerly right-of-way line, 479.60 feet to the Southwest corner of said Lot 1; thence N17°42'43"E along the West line of said Lot 1, 32.81 feet; thence N00°11'41"E along the West line of said Lot 1, 43.97 feet to the point of beginning.

Said description contains 137,423 square feet or 3.155 acres more or less.



**SURVEYOR'S CERTIFICATE**

I, Michael S. Marty, Professional Land Surveyor, S-2452, do hereby certify to the best of my knowledge and belief, that I have surveyed, divided and mapped the lands described herein under the direction of Marshall Court Investors, LLC, University Station, LLP, and the Village of Shorewood Hills, and that the map on sheet one (1) is a correct representation of the exterior boundaries of the land surveyed and the division of that land in accordance with the information provided. I further certify that this Certified Survey Map is in full compliance with the provisions of Section 236.34 of the Wisconsin State Statutes, Chapter A-E7 of the Wisconsin Administrative Code and the Subdivision Ordinance of the Village of Shorewood Hills in surveying, dividing and mapping the same.

Vierbicher Associates, Inc.  
 By: Michael S. Marty

Date: \_\_\_\_\_

Signed: \_\_\_\_\_  
 Michael S. Marty, P.L.S. S-2452

 planners   engineers   advisors Phone: (800) 261-3898	FN: 150191 DATE: 07/10/2018	SURVEYED FOR: Marshall Court Investors, LLC 625 N. Segoe Road, Suite 107 Madison, WI 53705	C.S.M. No. _____ Doc. No. _____ Vol. _____ Page _____	
		REV: _____ Drafted By: MMAR Checked By: PKNU		<h2 style="margin: 0;">SHEET 6 OF 9</h2>



# CERTIFIED SURVEY MAP No. \_\_\_\_\_

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**OWNER'S CERTIFICATE**

Marshall Court Investors, LLC, a Wisconsin limited liability company, as owner(s), we hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on the map hereon. We further certify that this Certified Survey Map is required by S236.34 to be submitted to the Village of Shorewood Hills for approval. Witness the hand and seal of said owner

this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Marshall Court Investors, LLC

By: \_\_\_\_\_

State of Wisconsin )  
   )ss.  
 County of Dane        )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018, the above named \_\_\_\_\_, to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

My Commission expires: \_\_\_\_\_

\_\_\_\_\_  
 Notary Public, State of Wisconsin

**CONSENT OF MORTGAGEE**

Monona State Bank, a banking association duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping, and dedicating of the land described on this Certified Survey Map and does hereby consent to the Owner's Certificate.

IN WITNESS WHEREOF, the said Monona State Bank, has caused these presents to be signed by \_\_\_\_\_ its \_\_\_\_\_, at \_\_\_\_\_, Wisconsin, on this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Monona State Bank



By: \_\_\_\_\_

State of Wisconsin )  
   )ss.  
 County of Dane        )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018, \_\_\_\_\_, of the above named banking association, to me known to be the person(s) who executed the foregoing instrument, and to me known to be such \_\_\_\_\_ of said banking association, and acknowledged that they executed the foregoing instrument as such officer as the deed of said banking association, by its authority.

\_\_\_\_\_  
 Notary Public, State of Wisconsin

My Commission expires: \_\_\_\_\_

 <p style="font-size: small;">planners   engineers   advisors</p> <p style="font-size: x-small;">Phone: (800) 261-3898</p>		FN: 150191	<u>SURVEYED FOR:</u> Marshall Court Investors, LLC 625 N. Segoe Road, Suite 107 Madison, WI 53705	C.S.M. No. _____	<h2 style="margin: 0;">SHEET</h2> <h2 style="margin: 0;">7 OF 9</h2>
		DATE: 07/10/2018		Doc. No. _____	
		REV:		Vol. _____ Page _____	
		Drafted By: MMAR			
		Checked By: PKNU			





## Appendix C

Information from McGettigan Property Open ERP Site –  
BRRTS #02-13-321347

**Table 1. Sub-Slab Vapor Analytical Results Summary\***  
**MOM Partnership Project, Madison, Wisconsin / SCS Engineers Project #25211228.71**  
 (Results are in ppbV)

Sample	Location	Date	Tetrachloroethylene (PCE)	Trichloroethylene (TCE)	cis-1,2-DCE	trans-1,2-DCE	Vinyl Chloride	Other VOCs
Psychiatric Services	2727 Marshall Court	3/2/2016	7.5	<0.43	<0.43	<0.43	<0.43	NA
		7/6/2016	<b>0.42</b> *IS	<0.085 *IS	<0.085 *IS	<0.085 *IS	<0.085 *IS	NA
Forest Products Society	2801 Marshall Court	3/2/2016	0.75	<0.085	<0.085	<0.085	<0.085	NA
		7/6/2016	<b>0.39</b>	<b>0.10</b> F	<0.085	<0.085	<0.085	NA
Vapor Risk Screening Level (Residential Building)			210	13	NE	NE	22	NE
Vapor Risk Screening Level (Small Commercial Building)			900	53	NE	NE	370	NE

Abbreviations:

ppbV = parts per billion by volume

trans-1,2-DCE = trans-1,2-dichloroethylene

cis-1,2-DCE = cis-1,2-dichloroethylene

NE = Not Established

-- = Not Applicable

ND = None Detected

NA = Not Analyzed

Notes:

1. Samples were collected in 6-liter summa canisters over a 30-minute period and analyzed using the USEPA TO-15 analytical method.
2. Vapor Risk Screening Levels are from Wisconsin Department of Natural Resources Quick Look-Up Table, which is based on May 2016 USEPA Regional Screening Level Tables.
3. **Bold+underlined** values meet or exceed Vapor Risk Screening Levels.
4. A vapor mitigation system was installed at 2803-2807 University Avenue in September 2014.

\*Table is modified from original. Only data relevant to 2801 Marshall Court is shown.

Lab Notes:

\*D = LOD not achievable due to dilution

\*IS = The internal standard QC limit is exceeded

F = Result is between LOD and LOQ

Created by: AV Date: 4/20/2016  
 Last revision by: AV Date: 7/15/2016  
 Checked by: LMH Date: 7/18/2016

I:\25218152.00\Deliverables\Phase 2 ESA\Attachment F Info from McGettigan Property\[Table 1\_Sub-Slab Vapor\_MOM Partnership.xlsx]Sub-Slab Results

**Table 2. Groundwater Analytical Results Summary\***  
**2803-2809 University Avenue, Madison, Wisconsin / SCS Engineers Project #25211228.71**  
(Results are in µg/L)

Sample	Date	Benzene	1,2-Dichloroethane	cis-1,2-Dichloroethylene	trans-1,2-Dichloroethylene	Ethylbenzene	Naphthalene	Tetrachloroethylene	Toluene	Trichloroethylene	TMBs	Vinyl Chloride	Xylenes
MW3	9/17/2002	<0.31	<0.17	2.0	2.93	<0.5	<0.8	23.7	<0.3	16.9	<0.71	<0.2	<0.92
	10/16/2002	<0.31	<0.17	2.35	2.5	<0.5	<0.8 CSH	24.3 CSH	<0.3	20.6	<0.71	<0.2	<0.92
	5/20/2004	<0.31	<0.4	<0.4	<0.39	<0.5	<0.8	29.8	<0.3	1.04 J	<0.71	<0.2	<0.92
	5/24/2005	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	10	<0.20	<0.20	<0.40	<0.20	<0.50
	8/23/2005	<0.20	<0.50	1.0 J	1.4 J	<0.50	<0.25	13	<0.20	10	<0.40	<0.20	<0.50
	11/22/2005	<0.20	<0.50	1.9	3.5	<0.50	<0.25	49	<0.20	32	<0.40	<0.20 C	<0.50
	2/7/2006	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	50	<0.20	2.4	<0.40	<0.20	<0.50
	6/27/2007	<0.41	<0.36	<0.83	<0.89	<0.54	<0.74	7.6	<0.67	0.55 J	<1.8	<0.18	<2.63 &
	10/9/2007	<0.21	<0.15	<0.21	<0.22	<0.23	<0.25	8.9	<0.20	1.5	<0.46	<0.17	<0.43
	2/5/2008	<0.41	<0.36	<0.83	0.92 Q	<0.54	<0.74	18	<0.67	7.9	<1.8	<0.18	<2.63
	3/22/2011	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	39	<0.50	<0.20	<0.40	<0.20	<0.50
	10/9/2015	<0.50	<0.17	<0.26	<0.26	<0.50	<2.5	9.5	<0.50	<0.33	<1.0	<0.18	<1.5
	6/6/2018	<0.15	<0.39	<0.41	<0.35	<0.18	<0.34	3.3	<0.15	<0.16	<0.61	<0.20	<0.22
	9/19/2018	<0.15	<0.39	<0.41	<0.35	<0.18	<0.34	9.2	0.45 J2, B	<0.16	<0.61	<0.20	<0.22
9/19/2018 (Dup)	<0.15	<0.39	<0.41	<0.35	<0.18	<0.34	10	<0.15	<0.16	<0.61	<0.20	<0.22	
MW5	1/21/2004	<0.31	<0.17	<0.23	<0.39	<0.5	<0.8	20	<0.3	<0.36	<0.71	<0.2	<0.92
	5/20/2004	<0.31	<0.4	<0.4	<0.39	<0.5	<0.8	14.8	<0.3	<0.5	<0.71	<0.2	<0.92
	5/24/2005	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	14	<0.20	<0.20	<0.40	<0.20	<0.50
	8/23/2005	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	8.8	<0.20	<0.20	<0.40	<0.20	<0.50
	11/22/2005	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	11	<0.20	<0.20	<0.40	<0.20 C	<0.50
	2/7/2006	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	12	<0.20	<0.20	<0.40	<0.20	<0.50
	6/27/2007	<0.41	<0.36	<0.83	<0.89	<0.54	<0.74	13	<0.67	<0.48	<1.8	<0.18	<2.63 &
	10/9/2007	<0.21	<0.15	<0.21	<0.22	<0.23	<0.25	8.2	<0.20	<0.20	<0.46	<0.17	<0.43
	2/5/2008	<0.41	<0.36	<0.83	<0.89	<0.54	<0.74	9.1	<0.67	<0.48	<1.8	<0.18	<2.63
	3/22/2011	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	5.7	<0.50	<0.20	<0.40	<0.20	<0.50
	10/9/2015	<0.50	<0.17	<0.26	<0.26	<0.50	<2.5	<0.50	<0.50	<0.33	<1.0	<0.18	<1.5
	6/6/2018	<0.15	<0.39	<0.41	<0.35	<0.18	<0.34	2.7	<0.15	<0.16	<0.61	<0.20	<0.22
9/19/2018	<0.15	<0.39	<0.41	<0.35	<0.18	<0.34	2.7	0.45 J2, B	<0.16	<0.61	<0.20	<0.22	

**Table 2. Groundwater Analytical Results Summary\***  
**2803-2809 University Avenue, Madison, Wisconsin / SCS Engineers Project #25211228.71**  
 (Results are in µg/L)

Sample	Date	Benzene	1,2-Dichloroethane	cis-1,2-Dichloroethylene	trans-1,2-Dichloroethylene	Ethylbenzene	Naphthalene	Tetrachloroethylene	Toluene	Trichloroethylene	TMBs	Vinyl Chloride	Xylenes
MW8	5/24/2005	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25 C4	1.6 J	<0.20	<0.20	<0.40	<0.20	NA
	8/23/2005	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	<0.50	<0.20	<0.50	<0.40	<0.20	<0.50
	11/22/2005	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	1.0 J	<0.20	<0.20	<0.40	<0.20 C	<0.50
	2/7/2006	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	1.0 J	<0.20	<0.20	<0.40	<0.20	<0.50
	6/27/2007	<0.41	<0.36	<0.83	<0.89	<0.54	<0.74	0.77 J	<0.67	<0.48	<1.8	<0.18	<2.63 &
	3/22/2011	<0.20	<0.50	<0.50	<0.50	<0.50	<0.25	<0.50	<0.50	<0.20	<0.40	<0.20	<0.50
	10/9/2015	<0.50	<0.17	<0.26	<0.26	<0.50	<2.5	<0.50	<0.50	<0.33	<1.0	<0.18	<1.5
	6/6/2018	<0.15	<0.39	<0.41	<0.35	<0.18	<0.34	<0.37	<0.15	<0.16	<0.61	<0.20	<0.22
	9/19/2018	<0.15	<0.39	<0.41	<0.35	<0.18	<0.34	<0.37	<0.15	<0.16	<0.61	<0.20	<0.22
NR 140 Enforcement Standards		5	5	70	100	700	100	5	800	5	480	0.2	2,000
NR 140 Preventive Action Limits		0.5	0.5	7	20	140	10	0.5	160	0.5	96	0.02	400

Abbreviations

µg/L = micrograms per liter or parts per billion (ppb)

-- = Not Applicable

TMBs = 1,2,4- and 1,3,5-trimethylbenzenes

**Table 2. Groundwater Analytical Results Summary\***  
**2803-2809 University Avenue, Madison, Wisconsin / SCS Engineers Project #25211228.71**

Notes:

**Bold** values equal or exceed NR 140 enforcement standards.

*Italic* values equal or exceed NR 140 preventive action limits.

Only detected compounds and vinyl chloride shown. For complete results, see laboratory reports.

Values in [brackets] represent results greater than or equal to the LOD but less than the LOQ and are within a region of "less-certain quantitation." Results greater than or equal to the LOQ are considered to be in the region of "certain quantitation."

LOD and/or LOQ tagged with an asterisk(\*) are considered Reporting Limits. All LOD/LOQs adjusted to reflect dilution.

B = Compound was found in the blank and sample.

C = Calibration Verification recovery was above the method control limit for this analyte. Analyte not detected, data not impacted.

C4 = Calibration Verification recovery was below the method control limit for this analyte.

CSH = Check standard for this analyte exhibited a high bias. Sample results may also be biased high.

CSL = Check standard for this analyte exhibited a low bias. Sample results may also be biased low.

J = Estimated value. Analyte detected at a level less than the Reporting Limit (RL) and greater than or equal to the Method Detection Limit (MDL). The user of this data should be aware that this data is of limited reliability.

J1 = Estimated concentration at or above the Limit of Detection (LOD) and below the Limit of Quantitation (LOQ).

J2 = Result is less than the RL but greater than or equal to the MDL and the concentration is an approximate value.

Q = The analyte has been detected between the LOD and LOQ. The results are qualified due to the uncertainty of analyte concentrations within this range.

S2 = Compound is a common lab solvent and contaminant.

SPH = Matrix spike recovery within analytical batch was high. Sample matrix appears similar to your sample; result may be biased high.

& = Laboratory Control Spike recovery not within control limits.

\*Table is modified from original. Only data relevant to 2801 Marshall Court is shown.

Laboratory Notes:

(1) Hexachlorobutadiene analysis - Calibration Verification recovery was below the method control limit for this analyte.

(2) Bromomethane, 4-chlorotoluene, hexachlorobutadiene and 1,2,3-trichlorobenzene analyses - Calibration Verification recovery was below the method control limit for this analyte.

(3) Surr: Toluene-d8 (91-100%) - Surrogate recovery was below acceptance limits.

(4) Bromomethane analysis - Calibration Verification recovery was below the method control limit for this analyte.

(5) 1,1,2-Trichloroethane was detected in UPUWP MW4 on 11/23/05 at a concentration of 0.91 ug/l (PAL = 0.5 ug/l, ES = 5 ug/l). This compound was not detected in any other site sample.

(6) Styrene - Laboratory Control Spike recovery not within control limits.

(7) Surrogate analysis - This compound is a surrogate used to evaluate the quality control of a method.

(8) Bromodichloromethane was detected at a concentration of [0.29].

(9) Bromomethane - Laboratory Control Spike recovery not within control limits. Chlorodibromomethane was detected at a concentration of 0.95; the analyte has been detected between the limit of detection (LOD) and limit of quantitation (LOQ).

The results are qualified due to the uncertainty of analyte concentrations within this range.

(10) Bromomethane - Laboratory Control Spike recovery not within control limits.

(11) Bromodichloromethane was detected at a concentration of [0.22].

(12) Bromodichloromethane was detected at a concentration of [0.33].

(13) Bromodichloromethane was detected at a concentration of [0.44], and Bromoform at [0.46], and Chlorodibromomethane at [0.71].

(14) Surrogate: 4-Bromofluorobenzene (S) - Post-analysis pH measurement indicates insufficient VOA sample preservation.

(15) Chloroethane = LCS or LCSD is outside acceptance limits.

Created by: LMH Date: 10/4/2002

Last revision by: LMH Date: 10/16/2018

Checked by: BJJ Date: 10/16/2018



**Table 3. Water Level Summary\***  
**2803-2809 University Avenue, Madison, Wisconsin / SCS Engineers Project #25211228.72**

<b>Raw Data</b>				
<b>Measurement Date</b>	<b>MW3</b>	<b>MW5</b>	<b>MW8</b>	<b>UP MW1</b>
September 6, 2002	NA	NA	NA	NM
September 17, 2002	29.07	NA	NA	NM
October 16, 2002	29.33	NA	NA	28.75
May 29, 2003	26.05	NA	NA	25.84
January 21, 2004	26.09	27.52	NA	25.99
May 20, 2004	25.88	27.57	NA	26.63
May 24, 2005	24.78	26.35	29.06	24.54
August 23, 2005	29.51	31.06	33.50	29.37
November 22, 2005	28.01	29.38	32.00	27.83
February 7, 2006	26.87	28.39	31.16	27.15
June 27, 2007	26.67	28.41	31.06	26.83
October 9, 2007	32.53	33.55	Dry	Dry
February 5, 2008	25.20	26.73	NM	NM
March 22, 2011	18.98	20.13	23.58	19.14
October 8 & 9, 2015	24.79	25.84	28.72	24.93
June 6, 2018	19.31	20.86	24.19	19.20
September 19, 2018	18.36	20.15	23.58	17.95
<b>Well Number</b>	<b>MW3</b>	<b>MW5</b>	<b>MW8</b>	<b>UP MW1</b>
<b>Top of Casing Elevation (feet amsl)</b>	877.03	878.45	880.56	876.92
<b>Measurement Date</b>				
September 6, 2002	--	--	--	--
September 17, 2002	847.96	--	--	--
October 16, 2002	847.70	--	--	848.17
May 29, 2003	850.98	--	--	851.08
January 21, 2004	850.94	850.93	--	850.93
May 20, 2004	851.15	850.88	--	850.29
May 24, 2005	852.25	852.10	851.50	852.38
August 23, 2005	847.52	847.39	847.06	847.55
November 22, 2005	849.02	849.07	848.56	849.09
February 7, 2006	850.16	850.06	849.40	849.77
June 27, 2007	850.36	850.04	849.50	850.09
October 9, 2007	844.50	844.90	--	--
February 5, 2008	851.83	851.72	--	--
March 22, 2011	858.05	858.32	856.98	857.78
October 8 & 9, 2015	852.24	852.61	851.84	851.99
June 6, 2018	857.72	857.59	856.37	857.72
September 19, 2018	858.67	858.30	856.98	858.97

Abbreviations:

NM = Not Measured  
 NA = Well not installed yet

Notes:

May 2004, May 2005, August 2005, and November 2005 water level measurement events took place over two day periods. Significant rain fell during the May 2004 measurement event.

Well elevations relative to fire hydrant located at the corner of University and Franklin, elevation is 880.34 feet amsl.

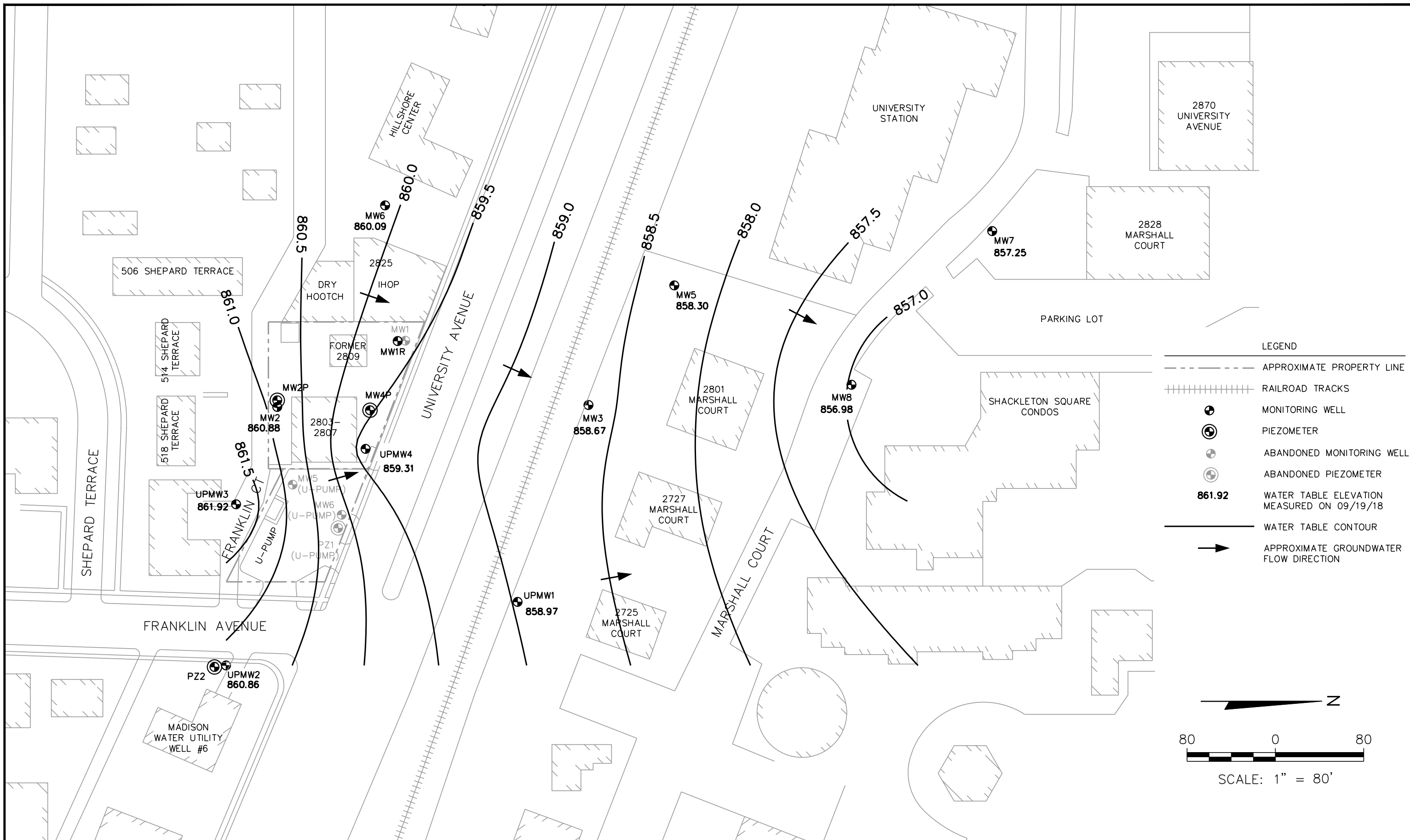
Upump MW4 elevation was resurveyed during the 1/21/04 sampling event.

\*Table is modified from original. Only data relevant to 2801 Marshall Court is shown.

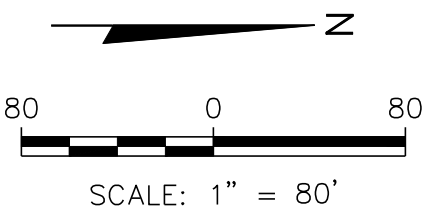
Last revision by:

Checked by:

I:\25218152.00\Deliverables\Phase 2 ESA\Attachment F Info from McGettigan Property\Table 3\_water levels.xls\Water Levels



- LEGEND
- APPROXIMATE PROPERTY LINE
  - ++++ RAILROAD TRACKS
  - ⊕ MONITORING WELL
  - ⊕ (with circle) PIEZOMETER
  - ⊕ (with cross) ABANDONED MONITORING WELL
  - ⊕ (with circle and cross) ABANDONED PIEZOMETER
  - 861.92 WATER TABLE ELEVATION MEASURED ON 09/19/18
  - WATER TABLE CONTOUR
  - ➔ APPROXIMATE GROUNDWATER FLOW DIRECTION



PROJECT NO.	25211228.72	DRAWN BY:	KP	ENGINEER	<b>SCS ENGINEERS</b> 2830 DAIRY DRIVE MADISON, WI 53718-6751 PHONE: (608) 224-2830	CLIENT	MOM PARTNERSHIP	SITE	2803-2809 UNIVERSITY AVENUE MADISON, WISCONSIN	WATER TABLE MAP SEPTEMBER 19, 2018	FIGURE
DRAWN:	10/02/18	CHECKED BY:	REL								1
REVISED:	10/02/18	APPROVED BY:	REL 10/02/18								

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