

From: Beggs, Tauren R - DNR
Sent: Wednesday, May 17, 2023 12:00 PM
To: Byers, Harris
Cc: Adam Tegen; Knapke.Eric@epa.gov
Subject: RE: Remedial Action Plan Addendum - River Point Drive ROW

Hi Harris,

The slight modification to the cap as outlined in this addendum looks to be protective and consistent with other capping proposed in the right-of-way areas. You can document these modifications within the remedial action/construction documentation report after the work has been completed.

Regards,

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

Tauren R. Beggs

Phone: (920) 510-3472

Tauren.Beggs@wisconsin.gov (preferred contact method during work at home)

From: Byers, Harris <Harris.Byers@stantec.com>
Sent: Monday, May 15, 2023 8:45 AM
To: Beggs, Tauren R - DNR <Tauren.Beggs@wisconsin.gov>; Adam Tegen <ategen@manitowoc.org>;
Knapke.Eric@epa.gov
Subject: Remedial Action Plan Addendum - River Point Drive ROW

Team:

On behalf of the Community Development Authority of the City of Manitowoc, Stantec Consulting Services Inc. prepared the attached addendum to the Stantec (2021b) Remedial Action Plan & and Material Management Plan for 4,200 square feet of rights of way on the western side of Riverpoint Drive.

In summary, to prevent direct contact with subsurface impacts, the Stantec (2021b) RAP/MMP proposed constructing an engineered barrier in the Project Area. The proposed barrier initially consisted of a concrete-paved sidewalk. Reuse plans were recently finalized for the adjacent property, and to support the proposed redevelopment, a revision to the proposed elements of the engineered barrier in rights of way is warranted.

** Tauren, I'll upload a copy of this to the portal for your records.

Sincerely,

Harris Byers, Ph.D.

Sr. Brownfields Project Manager
Contaminant Hydrogeologist / Urban Geochemist

Direct: 414 581-6476
Harris.Byers@stantec.com

Stantec
12080 Corporate Parkway Suite 200
Mequon WI 53092-2649



Stantec Consulting Services Inc.
12080 Corporate Parkway, Suite 200 Mequon WI 53092

May 15, 2023
File: 193709261

Attention: Mr. Adam Tegen
Community Development Director
900 Quay Street
Manitowoc, WI 54220

Dear Mr. Tegen,

**Reference: Addendum to the Remedial Action Plan and Material Management Plan for the Riverpoint Drive Rights of Way Manitowoc, Wisconsin
BRRTS ID: 02-36-585491 (LGU)
Stantec Project #: 193709261**

On behalf of the Community Development Authority of the City of Manitowoc (CDA) Stantec Consulting Services Inc. (Stantec) prepared this addendum to the Stantec (2021b) *Remedial Action Plan & and Material Management Plan* (RAP/MMP) for 4,200 square feet of rights of way on the western side of Riverpoint Drive (ROW; herein referred to as the "Project Area"). The Project Area is located in the River Point District, which is a 21-acre brownfield currently being redeveloped for non-industrial uses. The locations of the Project Area (outlined in black) and the River Point District (outlined in yellow) are illustrated on **Figure 1** relative to regional topography. The Project Area and the River Point District are illustrated on a 2020 orthophotograph on **Figure 2**.

This addendum was completed using funds provided to the CDA by the United States Environmental Protection Agency (USEPA) through a brownfield cleanup grant funded under Cooperative Agreement Number BF-00E03197.

BACKGROUND

As described in the Stantec (2021a) *Site Investigation Report*, subsurface impacts in the Project Area include a property-wide black granular fill unit extending downward up to 8 feet below ground surface (**Figure 3**). The estimated volume of granular fill in the Project Area is 465 cubic yards. The concentrations of heavy metals and polycyclic aromatic hydrocarbons in the fill unit are greater than health-based soil quality standards. Additionally, as illustrated on **Figure 4**, Stantec (2023a and 2023b) further evaluated subsurface impacts at River Point; however, recently identified impacts do not appear to pose a risk to the Project Area.

To prevent direct contact with subsurface impacts, the Stantec (2021b) RAP/MMP proposed constructing an engineered barrier in the Project Area. The proposed barrier initially consisted of a concrete-paved sidewalk (left panel of **Figure 5**). Reuse plans were recently finalized for the adjacent property. To support the proposed redevelopment, a revision to the proposed elements of the engineered barrier in the Project Area is warranted.

Reference: Addendum to the Remedial Action Plan and Material Management Plan for the Riverpoint Drive Rights of Way
Manitowoc, Wisconsin; BRRS ID: 02-36-585491 (LGU); ACRES ID: 239718

PROPOSED RAP/MMP MODIFICATIONS

As illustrated on **Figure 5** (right panel), townhomes are being proposed on the parcel adjacent to the Project Area. To match this proposed reuse, the area between the curb and sidewalk in the Project Area will now consist of asphalt-paved driveway aprons separated by vegetated areas (**Figure 5**). Please note, as illustrated on the cross-section provided in **Figure 6**, the proposed vegetated areas in the Project Area will consist of no less than 24-inches of clean imported fill completed in turf grass. Combined, the proposed driveway aprons and the vegetated areas will serve as an engineered barrier to prevent direct contact with subsurface impacts.

CONCLUSIONS

The proposed modifications to the engineered barrier in the Project Area are considered protective of human health and the environment and will facilitate the redevelopment of the adjacent parcel for multi-family reuse.

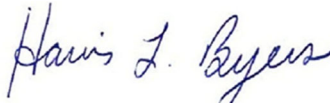
Stantec recommends submitting this addendum to the Wisconsin Department of Natural Resources for concurrence.

Regards,

Stantec Consulting Services, Inc.



Hiedi Ann Waller, P.E.
Project Engineer
hiedi.waller@stantec.com



Harris L. Byers, Ph.D.
Sr. Brownfields Project Manager
Tel: 414-581-6476
harris.byers@stantec.com



Stu Gross, P.G.,
Hydrogeologist; QA/QC Manager
stu.gross@stantec.com

Enclosures
Figures

REFERENCES

Stantec, 2021a, NR 716 Site Investigation Report, River Point District Phase 1 Construction Area, July 19, 2021.

Stantec, 2021b, Remedial Action Plan and Materials Management Plan, River Point District Phase I Construction Area, July 19, 2021.

Stantec, 2023a, Phase II ESA, Lot 3 of the River Point District, *in press*.

Stantec, 2023b, Site Investigation Report, River Point District Phase 2 Construction Area, *in press*.

LIMITATIONS

The conclusions in this addendum are Stantec's professional opinion, as of the time of the addendum, and concerning the scope described in the addendum. The opinions in the document are based on conditions and information existing at the time the document was published and do not take into account any subsequent changes. This addendum relates solely to the specific project for which Stantec was retained and the stated purpose for which the addendum was prepared. This addendum is not to be used or relied on for any variation or extension of the project, or for any other project or purpose, and any unauthorized use or reliance is at the recipient's own risk.

May 15, 2023
Mr. Adam Tegen
Page 3 of 3

**Reference: Addendum to the Remedial Action Plan and Material Management Plan for the Riverpoint Drive Rights of Way
Manitowoc, Wisconsin; BRRS ID: 02-36-585491 (LGU); ACRES ID: 239718**

Stantec has assumed all information received from third parties in the preparation of this addendum to be correct. While Stantec has exercised a customary level of judgment or due diligence in the use of such information, Stantec assumes no responsibility for the consequences of any error or omission contained therein.

This addendum is intended solely for use by the CDA in accordance with Stantec's contract with the CDA. While this addendum may be provided to applicable authorities having jurisdiction and others for whom the CDA is responsible, Stantec does not warrant the services to any third party. This addendum may not be relied upon by any other party without the express written consent of Stantec, which may be withheld at Stantec's discretion.

FIGURES



Figure No.

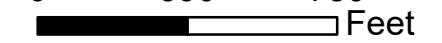
1

Title

Project Area and Regional Topography



Client/Project
 Riverpoint Drive Rights of Way
 River Point District
 City of Manitowoc

0 390 780 Feet Prepared by HLB on 5/8/2023



Legend



-  River Point District
-  Rights of Way Project Area

NOTE:
 1. Coordinate System: NAD 1983 StatePlane Wisconsin South FIPS 4803 Feet
 2. Orthophotograph: Manitowoc County, 2020





Figure No.



2
Title

**Project Area and
2020 Orthophotograph**

Client/Project
Riverpoint Drive Rights of Way
River Point District
City of Manitowoc

0 125 250 Feet Prepared by HLB on 5/8/2023

Legend

-  River Point District
-  Rights of Way Project Area



NOTE:
1. Coordinate System: NAD 1983 StatePlane Wisconsin South FIPS 4803 Feet
2. Orthophotograph: Manitowoc County, 2020





Figure No.
3
 Title
Thickness of Historic Fill Materials

Client/Project
 Riverpoint Drive Rights of Way
 River Point District
 City of Manitowoc

0 125 250 Feet Prepared by HLB on 5/8/2023

Legend

Rights of Way Project
 River Point District

**Depth to Bottom of Fill
 (Feet Below Ground Surface)**

	7.111 - 8
	6.222 - 7.111
	5.333 - 6.222
	4.444 - 5.333
	3.556 - 4.444
	2.667 - 3.556
	1.778 - 2.667
	0.889 - 1.778
	0 - 0.889



- Notes**
1. Coordinate System: NAD 1983 StatePlane Wisconsin South FIPS 4803 Feet
 2. Historic Site features illustrated on this figure were digitized from multiple historic maps/sources, including City Assessor files, WDNR files, and Sanborn (R) Fire Insurance Maps. These features are provided for illustration purposes only; Stantec makes no warranty as to the accuracy of these features.
 3. Orthophotograph: Manitowoc County, 2020



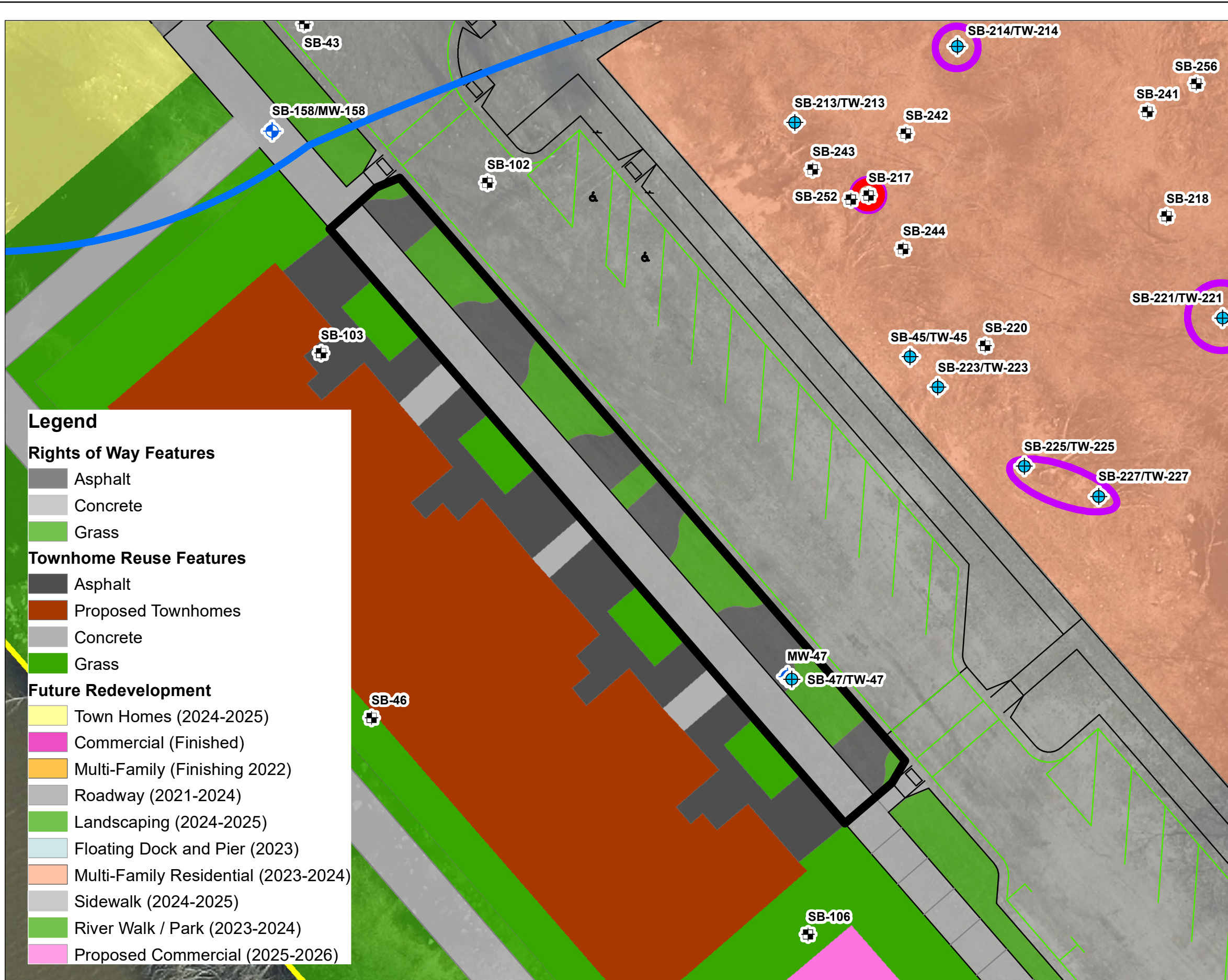


Figure No. **4**
 Title **Project Area and Subsurface Impacts**
 Client/Project
 Riverpoint Drive Rights of Way
 River Point District
 City of Manitowoc
 0 15 30 Feet
 Prepared by HLB on 5/8/2023

Legend

River Point District

Rights of Way Project Area

Sample Locations

Soil Boring / Monitoring Well

Soil Boring

Soil Boring / Temp Well

Soil Impacts (In Addition to Fill)

PCB > NIDC

PVOC > GW Pathway

PAH and PVOC > GW Pathway

Legend

Rights of Way Features

- Asphalt
- Concrete
- Grass

Townhome Reuse Features

- Asphalt
- Proposed Townhomes
- Concrete
- Grass

Future Redevelopment

- Town Homes (2024-2025)
- Commercial (Finished)
- Multi-Family (Finishing 2022)
- Roadway (2021-2024)
- Landscaping (2024-2025)
- Floating Dock and Pier (2023)
- Multi-Family Residential (2023-2024)
- Sidewalk (2024-2025)
- River Walk / Park (2023-2024)
- Proposed Commercial (2025-2026)

Notes

- Coordinate System: NAD 1983 HARN WISCRS Manitowoc County Feet
- Orthophotograph: Manitowoc County, 2020



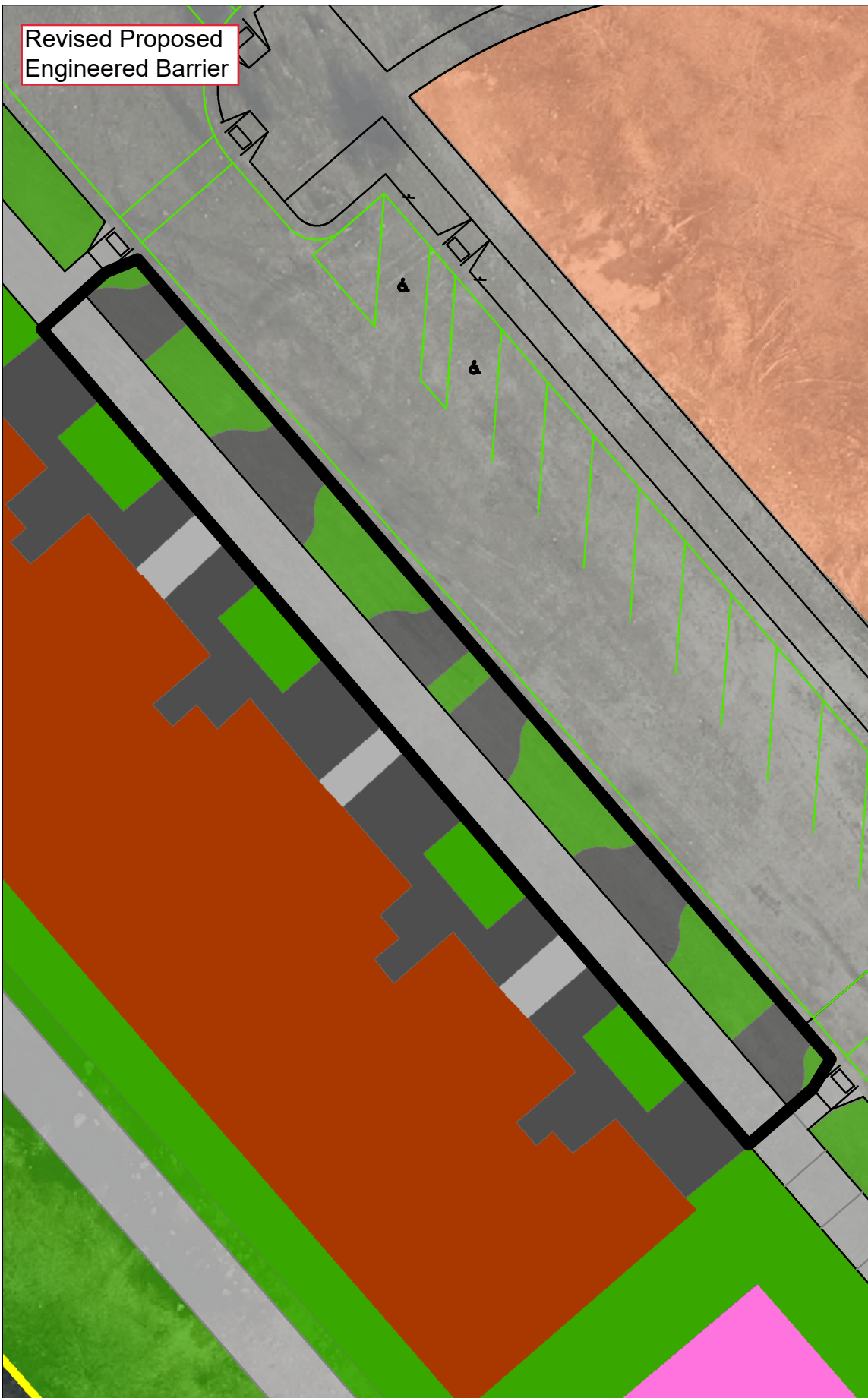


Figure No. **5**
 Title **Project Area and Proposed Reuse**

Client/Project
 Riverpoint Drive Rights of Way
 River Point District
 City of Manitowoc

0 20 40 Feet Prepared by HLB on 5/8/2023

Legend

- River Point District
- Rights of Way Project Area

Rights of Way Features

- Asphalt
- Concrete
- Grass

Townhome Reuse Features

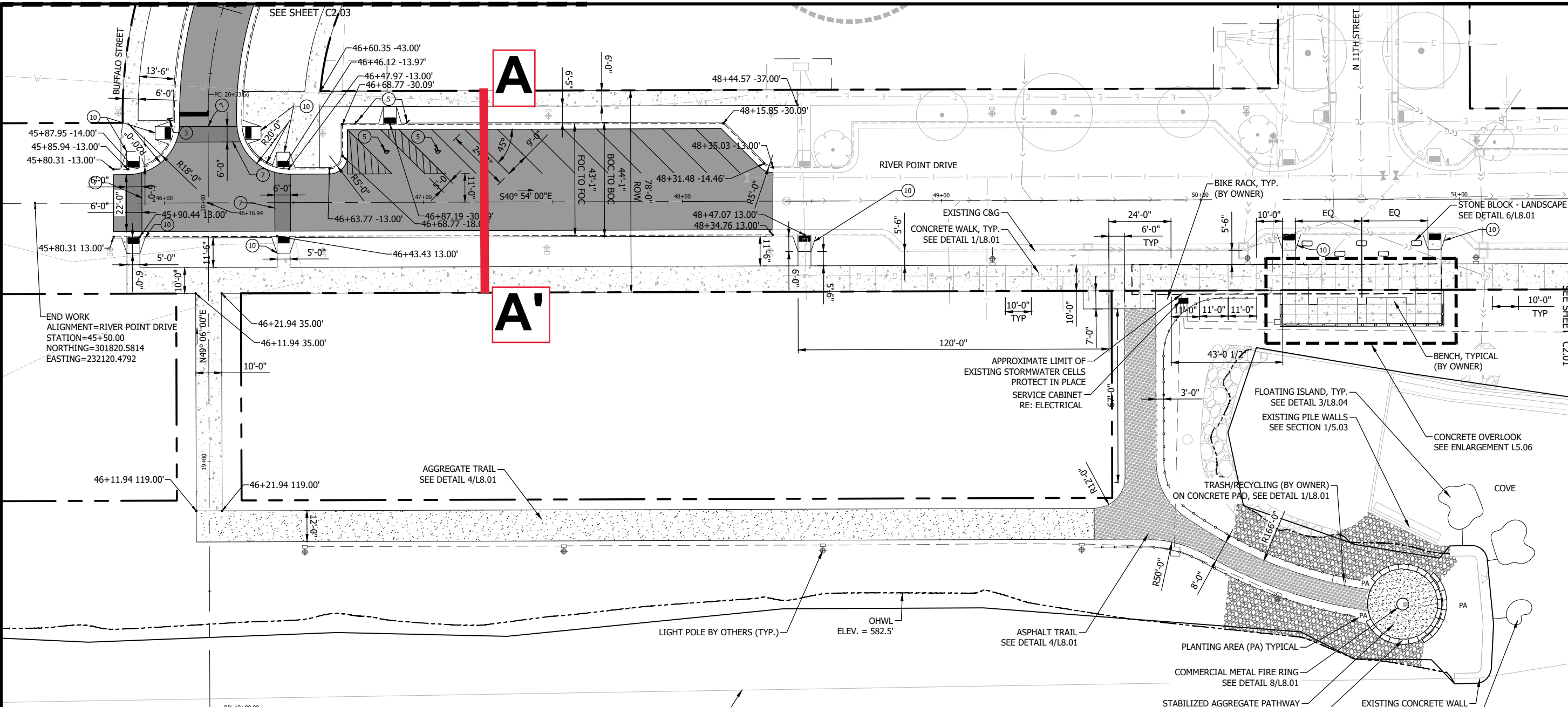
- Asphalt
- Proposed Townhomes
- Concrete
- Grass

Future Redevelopment

- Town Homes (2024-2025)
- Commercial (Finished)
- Multi-Family (Finishing 2022)
- Roadway (2021-2024)
- Landscaping (2024-2025)
- Floating Dock and Pier (2023)
- Multi-Family Residential (2023-2024)
- Sidewalk (2024-2025)
- River Walk / Park (2023-2024)
- Proposed Commercial (2025-2026)

Notes
 1. Coordinate System: NAD 1983 HARN WISCRS Manitowoc County Feet
 2. Orthophotograph: Manitowoc County, 2020

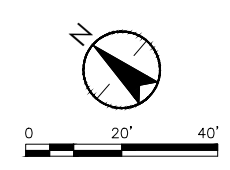
Plot Date: 02/07/2023 - 6:17pm
 Drawing name: C:\new_in_bh_info01\193805824\193805824_C200.dwg
 User: 193805824\JSHF
 The CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. NO USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



- LEGEND**
- ASPHALT TRAIL
 - AGGREGATE TRAIL
 - CONCRETE WALK
 - STABILIZED AGGREGATE PATHWAY
 - SHORELINE RIPRAP
 - 42" GUARDRAIL ON RETAINING WALL
 - 36" GUARDRAIL AT CONCRETE RAMP
 - NATIVE PLANTING BARRIER
 - STONE BLOCK - SEATING
 - STONE BLOCK - LANDSCAPE
 - 6" BENCH (BY OWNER)
 - BIKE RACK (BY OWNER)
 - TRASH/RECYCLING (BY OWNER)
 - LIGHT POLE (BY OTHERS)

- KEYNOTES**
- 1 PROPOSED ADA HANDICAP VAN ACCESSIBLE SIGN, TYP.
 - 2 PROPOSED ADA HANDICAP ACCESSIBLE SIGN, TYP.
 - 3 PROPOSED STOP SIGN, TYP.
 - 4 PROPOSED 18" WHITE PAINTED STOP BAR, TYP.
 - 5 PROPOSED ADA HANDICAP PARKING SPACE, TYP.
 - 6 PROPOSED ADA HANDICAP VAN PARKING SPACE, TYP.
 - 7 PROPOSED 6" WHITE PAINTED CROSSWALK/ACCESS AISLE.
 - 8 PROPOSED 4" WHITE PAINTED PARKING STRIPE, TYP.
 - 9 PROPOSED 30" CONCRETE CURB & GUTTER (6" HIGH CURB), TYP.
 - 10 PROPOSED ADA RAMP
 - 11 PROPOSED BEGIN TRANSITION FROM 0" TO 6" CURB
 - 12 PROPOSED END TRANSITION FROM 0" TO 6" CURB
 - 13 PROPOSED 24" MOUNTABLE CURB
 - 14 PROPOSED 30" MOUNTABLE CURB
 - 15 PROPOSED REVERSE CURB
 - 16 PROPOSED "SNOW PARKING" SIGN
 - 17 PROPOSED COLORED CONCRETE

- LEGEND**
- PROPOSED CURB AND GUTTER STANDARD
 - PROPOSED REJECT CURB AND GUTTER STANDARD
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED ASPHALT TRAIL
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED COLORED CONCRETE
 - STORM SEWER MANHOLE
 - STORM SEWER CATCH BASIN
 - SANITARY SEWER MANHOLE
 - ROW / PROPERTY LINES



12075 N. Corporate Parkway, Suite 200
 Mequon, WI 53092
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Bid Set

SITE PLAN

RIVER POINT PHASE 2

CITY OF MANITOWOC

MANITOWOC, WISCONSIN

DATE OF ISSUANCE

01/17/2023

NO. REVISION

DATE

SURVEY

CENTERPOINT

DRAWN

MF

DESIGNED

JAW

CHECKED

JCB

APPROVED

JAW

PROJ. NO.

193805824

SHEET NUMBER

Figure 6

